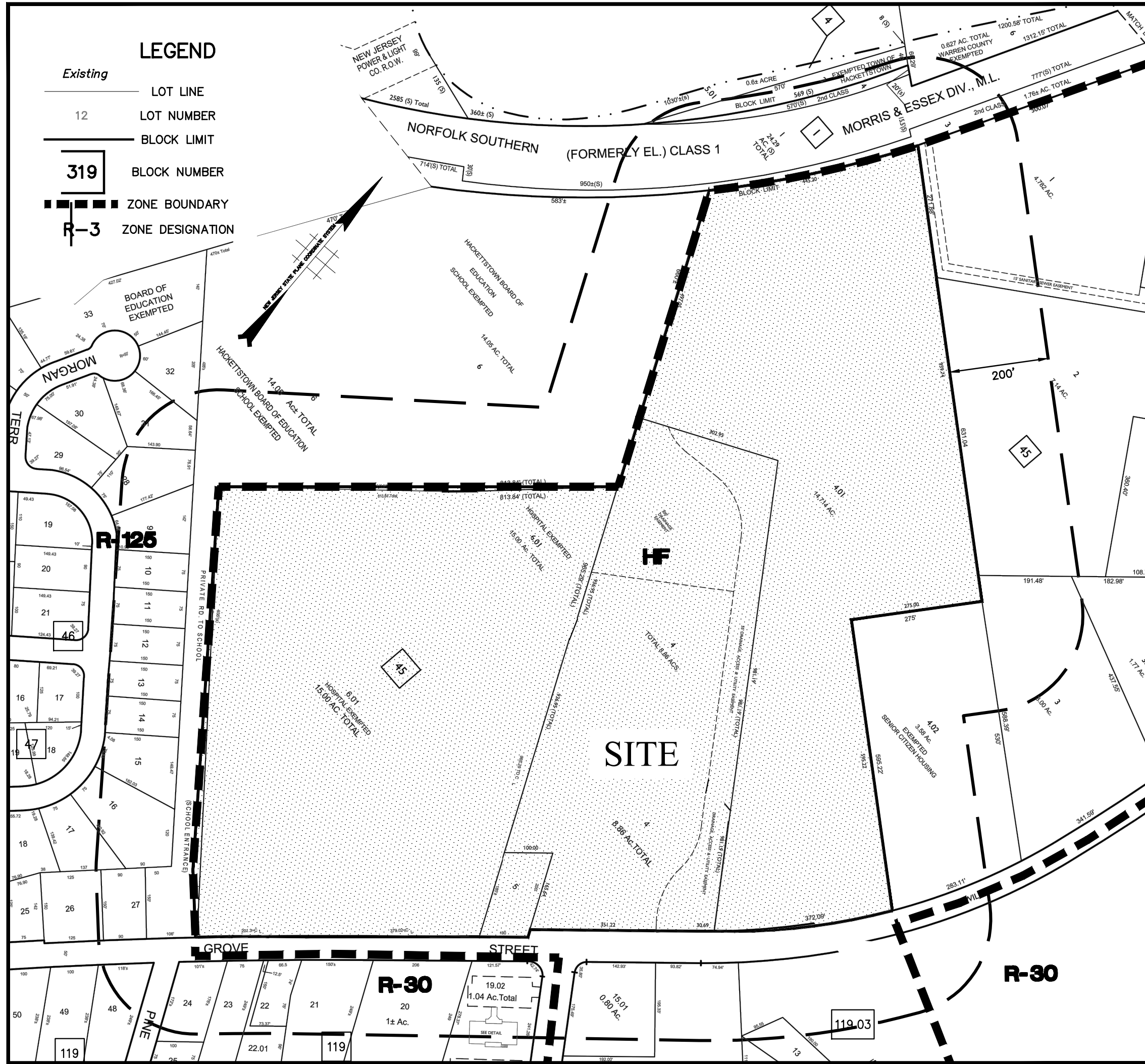
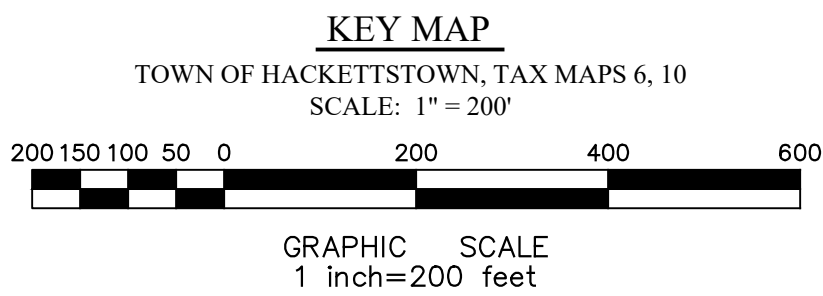


PROPERTY OWNERS WITHIN 200'
PER TOWN OF HACKETTSTOWN MUNICIPAL
ASSESSOR, CERTIFIED LIST RECEIVED 12/09/2020

MAJOR SITE PLAN
SOLAR CARPORTS FOR
HACKETTSTOWN MEDICAL CENTER
BLOCK 45, LOT 4 (FORMERLY LOTS 4, 4.01, 5, & 6.01)
TOWN OF HACKTTSTOWN,
WARREN COUNTY, NEW JERSEY



ZONING DATA					
CITATION	STANDARD	REQUIRED	EXISTING	PROPOSED	COMPLIES
\$409	"HF" HEALTH FACILITIES				
	PERMITTED PRINCIPAL USES	MULTIPLE	HOSPITAL	NO CHANGE	Y
	PERMITTED ACCESSORY USES	MULTIPLE	N/A	SOLAR CARPORTS	N
	MAX. HEIGHT	40/3 STORIES	4 STORIES	NO CHANGE	Y
\$409 C.	AREA AND YARD REQUIREMENTS				
	MIN. LOT AREA	45,000 S.F.	1,692,531 S.F.	NO CHANGE	Y
\$409 D.	MIN. LOT FRONTAGE	150 FEET	1,448 FEET	NO CHANGE	Y
	MIN. LOT WIDTH	150 FEET	1,340 FEET	NO CHANGE	Y
\$409 E.	MIN. LOT DEPTH	200 FEET	1,580 FEET	NO CHANGE	Y
	MIN. SIDE YARD	30 FEET	30 FEET	NO CHANGE	Y
\$409 F.	MIN. FRONT YARD	50 FEET	50 FEET	NO CHANGE	Y
	MIN. REAR YARD	30 FEET	30 FEET	NO CHANGE	Y
\$409 G.	ACCESSORY BUILDING DISTANCE TO SIDE LINE	20 FEET	N/A	N/A	Y
	ACCESSORY BUILDING DISTANCE TO REAR LINE	20 FEET	N/A	N/A	Y
\$409 H.	ACCESSORY BUILDING DISTANCE TO OTHER BUILDING	20 FEET	N/A	N/A	Y
	MAX. FLOOR AREA RATIO	0.30	0.18	NO CHANGE	Y
\$409 I.	MAX. LOT COVERAGE	75%	33.9%	33.9%	Y
	MIN. BUILDING TO BUILDING FOR PEDESTRIAN CIRCULATION	20 FEET	0 FEET	NO CHANGE	N
\$409 J.	MIN. BUILDING TO BUILDING FOR PARKING OR VEHICLE CIRCULATION	50 FEET	186 FEET	NO CHANGE	Y
	MAX. BUILDING TO BUILDING ADJUTING RESIDENTIAL USE OR DISTRICT	50 FEET	N/A	N/A	Y
\$409 K.	GENERAL REQUIREMENTS				
	BUILDING USE	1 USE PER BUILDING, EXCEPT FOR ONE	1 PER BUILDING	NO CHANGE	Y
\$409 L.	OUTDOOR STORAGE	NONE	NONE	NONE	Y
	LANDSCAPING	IN AREAS WITHOUT OTHER USE	WHERE NEEDED	NO CHANGE	Y
\$409 M.	PARKING SETBACK	20 FEET	20 FEET	NO CHANGE	Y
	MINIMUM OFF STREET PARKING				
\$409 N.	HOSPITALS, CLINICS, AND OTHER HEALTH FACILITIES	1 SPACE PER 400 S.F. OF NET HABITABLE FLOOR AREA	887 SPACES	NO CHANGE	Y
	MEDICAL/DENTAL OFFICES	N/A	COMPLIES	COMPLIES	Y
\$409 O.	NON-MEDICAL/DENTAL PROFESSIONAL AND BUSINESS OFFICES AND HOSPITAL PHARMACIES	N/A	N/A	N/A	Y
	ADDITIONAL STANDARDS	VARES	COMPLIES	NO CHANGE	Y
\$409 P.	SIGNS				
	MULTIPLE	VARES	COMPLIES	NO CHANGE	Y
\$409 Q.	MINIMUM OFF-STREET LOADING				
	SPACE FOR PRINCIPAL USES	15 FEET BY 40 FEET	COMPLIES	NO CHANGE	Y
\$409 R.	TRASH AND GARBAGE PICK-UP LOCATION FOR EACH BUILDING SEPARATED FROM PARKING SPACES	1 PER BUILDING	COMPLIES	NO CHANGE	Y



GENERAL NOTES

- THIS SITE IS COMMONLY KNOWN AS BLOCK 45, LOT 4 (FORMERLY KNOWN AS LOTS 4, 4.01, 5, & 6.01) AS SHOWN ON THE TOWN OF HACKETTSTOWN TAX MAP SHEETS NO. 6 & 10, IN WARREN COUNTY, NEW JERSEY.
- THIS SITE IS LOCATED WITHIN THE HEALTH FACILITIES (HF) ZONE.
- THE ENTIRE TRACT CONTAINS 1,692,531 SQUARE FEET (38.85 ACRES).
- PROJECT DATUMS
HORIZONTAL: NAD 1983 VERTICAL: NAVD 1988
- OWNER: ATLANTIC HEALTH SYSTEM, INC. 651 WILLOW GROVE STREET HACKETTSTOWN, NJ 07840
APPLICANT: ABOVE GRID SOLAR CARPORT 2020 LLC 516 RT 33 WEST, BUILDING 2, SUITE 101 MILLSTONE, NJ 08535
- BOUNDARY AND PHYSICAL INFORMATION SHOWN HEREON TAKEN FROM ALTA SURVEY ENTITLED "ALTA/NSPS LAND TITLE SURVEY FOR 20-007-NJ - HACKETTSTOWN MC", PREPARED BY PARTNER ENGINEERING AND SCIENCE, INC., FIELD WORK COMPLETED 06/09/2021.
- TOPOGRAPHIC (CONTOUR) INFORMATION SHOWN HEREON BASED UPON THE FOLLOWING REFERENCES:
 - A. A MAP ENTITLED, "ALTA/ACSM LAND TITLE SURVEY, HACKETTSTOWN COMMUNITY HOSPITAL, TOWN OF HACKETTSTOWN, WARREN COUNTY, NEW JERSEY", DATED 10/10/97, PREPARED BY CHERRY, WEBER & ASSOCIATES, P.C., PHILLIPSBURG, N.J.
 - B. A MAP ENTITLED, "SURVEY & MINOR SUBDIVISION, KINGSHIRE MANOR ASSISTED LIVING RESIDENCE, TOWN OF HACKETTSTOWN, WARREN COUNTY, NEW JERSEY", DATED JAN. 1996, REVISED TO 2/18/98, PREPARED BY CHERRY, WEBER & ASSOCIATES, P.C., PHILLIPSBURG, N.J.
 - C. A MAP ENTITLED, "ALTA/ACSM LAND TITLE SURVEY, HOSPITAL PREMISES EASEMENT AREA, TOWN OF HACKETTSTOWN, WARREN COUNTY, NEW JERSEY", DATED JUNE 2002 REVISED TO 6/27/02, PREPARED BY CHERRY, WEBER & ASSOCIATES, P.C., PHILLIPSBURG, N.J.
 - D. A DEED BETWEEN HACKETTSTOWN COMMUNITY HOSPITAL AND HACKETTSTOWN COMMUNITY HOSPITAL, DATED JANUARY 7, 2003, RECORDED IN DEED BOOK 1855, PAGE 3.
 - E. A DEED BETWEEN ADVENTIST MANAGEMENT SERVICES, INC. AND HACKETTSTOWN HACKETTSTOWN I, L.L.C., DATED JULY 3, 2002, RECORDED IN DEED BOOK 1816, PAGE 255.
 - F. FIELD DATA DATE OF FIELD SURVEY AUGUST 2004.
 - G. A MAP ENTITLED, "OVERALL SURVEY & SITE PLAN, MOBILE M.R.I. UNIT, HACKETTSTOWN, WARREN COUNTY, NEW JERSEY", DATED NOVEMBER 2004, PREPARED BY CHERRY, WEBER & ASSOCIATES, P.C., PHILLIPSBURG, N.J.
- TREE, LANDSCAPE, AND LIGHTING INFORMATION SHOWN HEREON VERIFIED IN FIELD BY PARTNER ENGINEERING AND SCIENCE, INC. ON 06/22/2021.
- CARPOT DESIGN FOR "HACKETTSTOWN MEDICAL CENTER", PREPARED BY PARASOL STRUCTURES, DATED 06/30/2021.
- LOCATIONS OF LINE INVERTERS, ELECTRIC VEHICLE CHARGING STATIONS, AND OTHER COLUMN-MOUNTED ACCESSORIES SHOWN ON PLANS MAY BE SUBJECT TO CHANGE DURING CONSTRUCTION.

INDEX OF SHEETS

SITE PLAN

- COVER SHEET
- EXISTING CONDITIONS PLAN
- LAYOUT PLAN
- DRAINAGE AND UTILITY PLAN
- TREE REPLACEMENT & LIGHT RELOCATION PLAN
- LIGHTING PLAN
- SOIL EROSION AND SEDIMENT CONTROL PLAN
- SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS
- LANDSCAPE AND LIGHTING DETAILS
- CONSTRUCTION DETAILS

SURVEY

- OF 2. ALTA/NSPS LAND TITLE SURVEY FOR 20-007-NJ - HACKETTSTOWN MEDICAL CENTER
- OF 2. ALTA/NSPS LAND TITLE SURVEY FOR 20-007-NJ - HACKETTSTOWN MEDICAL CENTER

CARPOT DESIGN PLANS

- | | |
|-------------|---------------------------------------|
| S000 | COVER SHEET |
| S010 | OVERALL SITE PLAN - FOUNDATION LAYOUT |
| S011 | OVERALL SITE PLAN - PV ARRAY LAYOUT |
| S012 - S014 | SITE PLAN - FOUNDATION LAYOUT |
| S015 - S017 | SITE PLAN - PV ARRAY LAYOUT |
| S031 | TYP. FOUNDATION |
| S101 - S111 | CANOPY PLANS |
| S301 - S303 | CANOPY SECTION |

OWNER:
LOT 4 (FORMERLY 4, 4.01, 5, & 6.01)
ATLANTIC HEALTH SYSTEM, INC.
651 WILLOW GROVE ST.
HACKETTSTOWN, NJ 07840
PHONE (908) 852-3130

APPLICANT:
ABOVE GRID SOLAR CARPORT 2020 LLC
516 ROUTE 33 W, BUILDING 2, SUITE 101
MILLSTONE, NJ 08535
PHONE (908) 852-3130

PARTNER
Engineering and Science, Inc.
(a DBA of Partner Assessment Corp, a NJ Engineering firm)

Jeffrey C. Szabo
JEFFREY C. SZABO, P.E.
NJ PROFESSIONAL ENGINEER Lic. No. 24GE04457700

611 Industrial Way West
Easton, NJ 07724
NJ Certificate of Authorization No. 24GA28222900

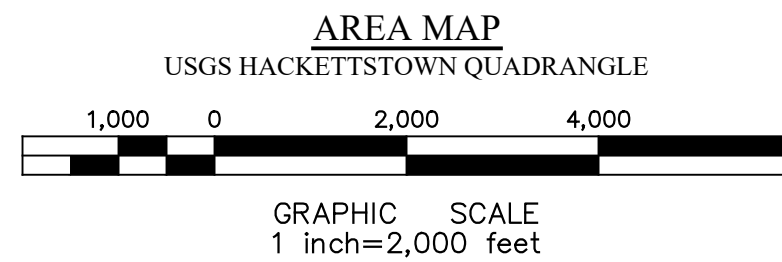
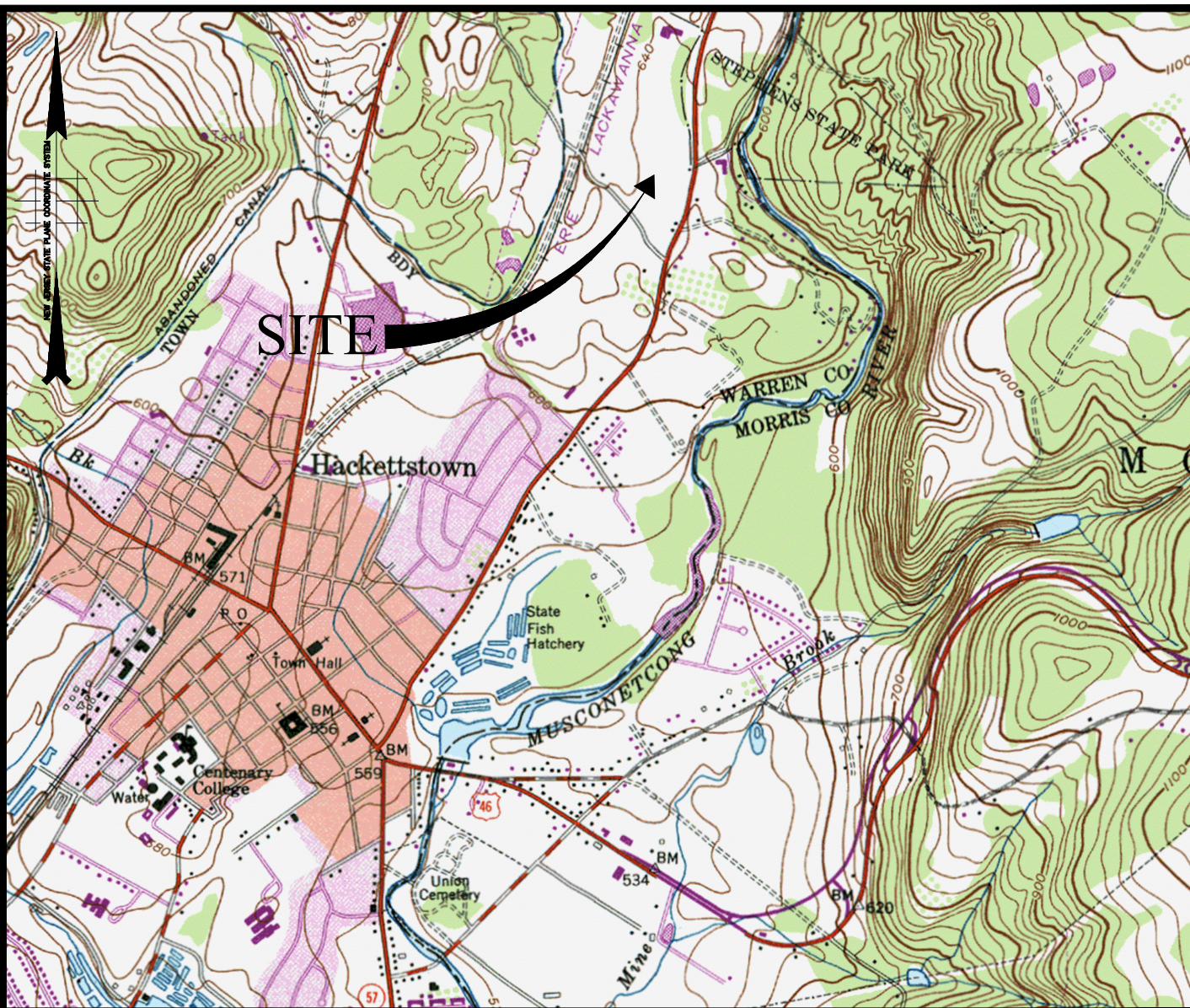
Tel.: 732.380.1700
Fax.: 732.380.1701
WWW.PARTNERESI.COM

Date 07/27/2021	Scale(H) AS SHOWN (V) N/A	Drawn MS	Designed JS	Checked PS	Released JS
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COVER SHEET
MAJOR SITE PLAN
SOLAR CARPORTS FOR HACKETTSTOWN MEDICAL CENTER
TOWN OF HACKETTSTOWN
BLOCK 45, LOT 4

SITUATED IN
TOWN OF HACKETTSTOWN, WARREN COUNTY, NEW JERSEY

Job No. 005-20-006	Drawer Number 000-000	Drawing Name: 01-COVER.dwg	1 OF 10
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ABOVEgrid
clean energy development

PARASOL
STRUCTURES

APPLICATION NO. _____
APPROVED BY THE TOWN OF HACKETTSTOWN LAND USE
BOARD AS A MAJOR SITE PLAN
ON _____

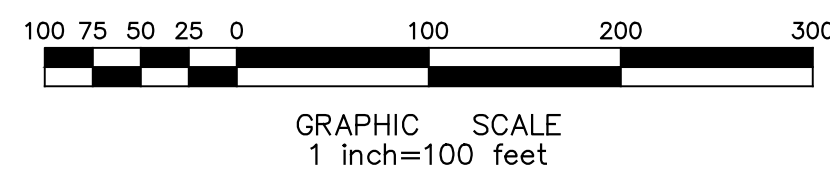
TOWN ENGINEER _____ DATE _____

CHAIRPERSON _____ DATE _____

SECRETARY _____ DATE _____

NO.	DATE	REVISION	DRAWN	CHKD	REL'D

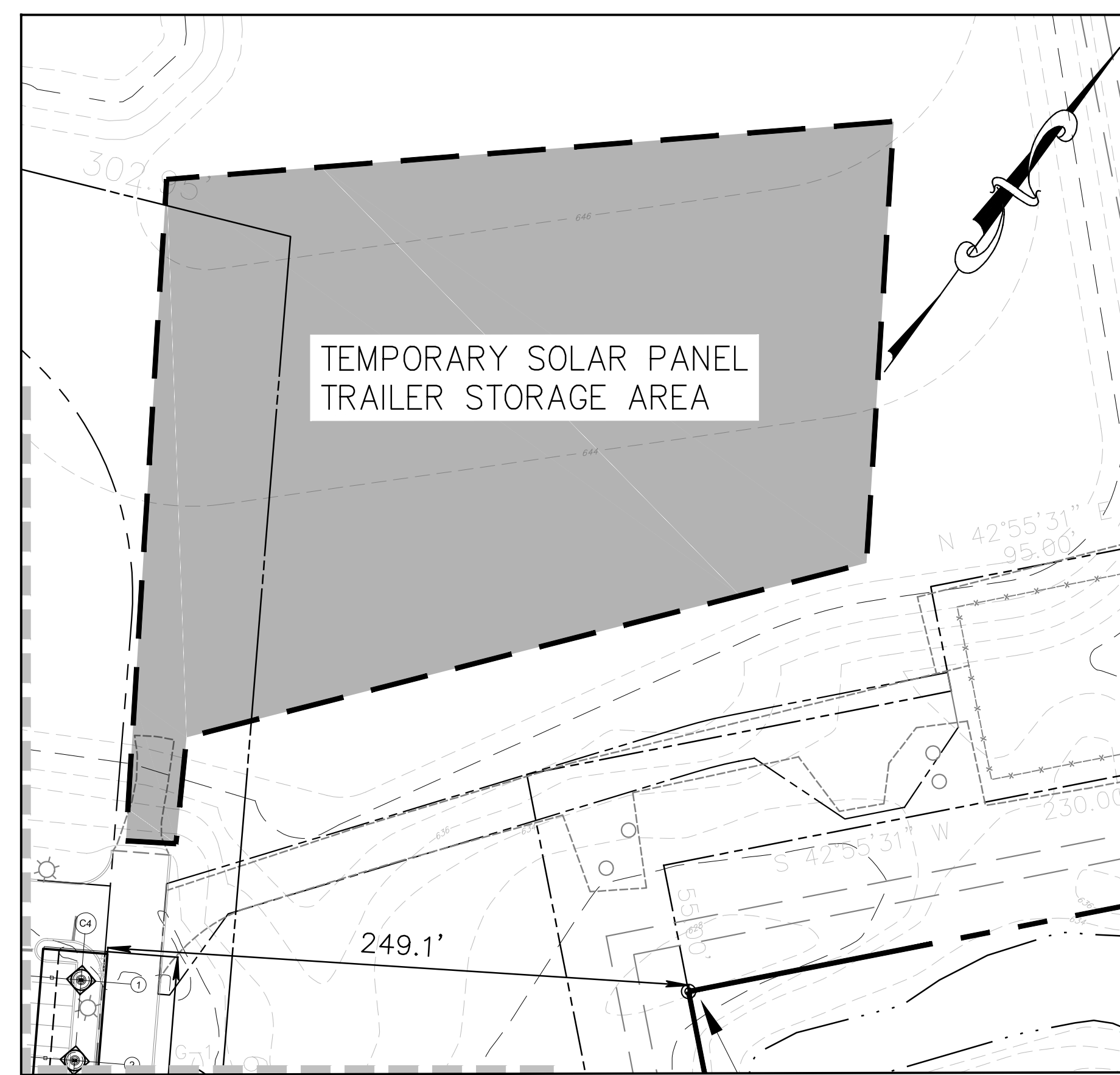
Printed: 07/27/21 - 10:06 AM. By: main. Drawing: Hackettstown Medical Center Urban (dwg) 02-EXIST.dwg. ---> 02-EXIST
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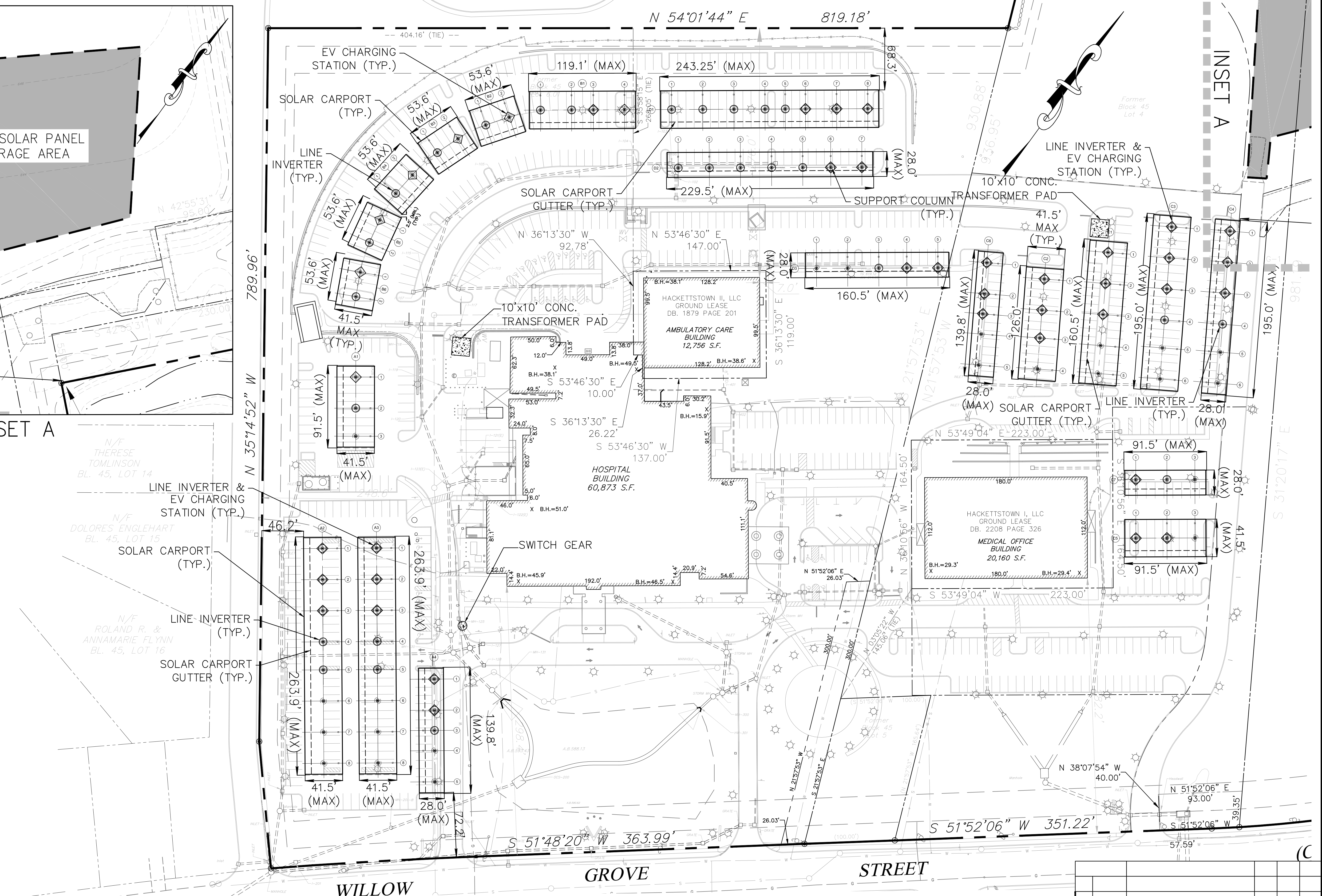
OWNER: LOT 4 (FORMERLY 4, 4.01, 5, & 6.01) ATLANTIC HEALTH SYSTEM, INC. 651 WILLOW GROVE ST. HACKETTSTOWN, NJ 07840 PHONE (908) 852-3130		APPLICANT: ABOVE GRID SOLAR CARPORT 2020 LLC 516 ROUTE 33 W, BUILDING 2, SUITE 101 MILLSTONE, NJ 08535 PHONE (908) 852-3130		PARTNER Engineering and Science, Inc. (a DBA of Partner Assessment Corp, a NJ Engineering firm) JEFFREY C. SZABO, P.E. NJ PROFESSIONAL ENGINEER Lic. No. 24GE04457700 611 Industrial Way West Easton, NJ 07724 Tel.: 732.380.1700 Fax.: 732.380.1701 NJ Certificate of Authorization No. 24GA28222900 WWW.PARTNERESI.COM		EXISTING CONDITIONS PLAN MAJOR SITE PLAN SOLAR CARPORTS FOR HACKETTSTOWN MEDICAL CENTER TOWN OF HACKETTSTOWN BLOCK 45, LOT 4 SITUATED IN TOWN OF HACKETTSTOWN, WARREN COUNTY, NEW JERSEY			
Date 07/27/2021	Scale (H) 1"=100' (V) N/A	Drawn MS	Designed JS	Checked PS	Released JS	Job No. 005-20-006	Drawer Number 000-000	Drawing Name 02-EXIST.dwg	2 OF 10

Printed: 07/27/21 - 10:06 AM By: main
C:\Users\main\OneDrive\Documents\Medical Center\Plan\03-LAYOUT.dwg --> 03-LAYOUT
Copyright Partner Engineering and Science, Inc. 2021

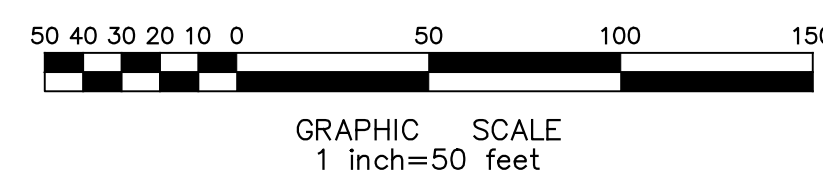
CINDY TERRACE



INSET A



NOTE: SOLAR CARPORT ARRAY DESIGN TAKEN FROM PLANS ENTITLED "HACKETTSTOWN MEDICAL CENTER, OVERALL SITE PLAN - PV ARRAY LAYOUT", PREPARED BY PARASOL STRUCTURES, DATED JULY 27, 2021.



OWNER:
LOT 4 (FORMERLY 4, 4.01, 5, & 6.01)
ATLANTIC HEALTH SYSTEM, INC.
651 WILLOW GROVE ST.
HACKETTSTOWN, NJ 07840
PHONE (908) 852-3130

APPLICANT:
ABOVE GRID SOLAR CARPORT 2020 LLC
516 ROUTE 33 W, BUILDING 2, SUITE 101
MILLSTONE, NJ 08535
PHONE (908) 852-3130

PARTNER
Engineering and Science, Inc.
(a DBA of Partner Assessment Corp, a NJ Engineering firm)

Jeffrey C. Szabo
JEFFREY C. SZABO, P.E.
NJ PROFESSIONAL ENGINEER Lic. No. 24GE04457700

611 Industrial Way West
Easton, NJ 07724
NJ Certificate of Authorization No. 24GA28222900

Tel.: 732.380.1700
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WWW.PARTNERESI.COM

Date	Scale (H)	Drawn	Designed	Checked	Released
07/27/2021	1"=50' (V) N/A	MS	JS	PS	JS

REVISION					
NO.	DATE	REVISION	DRAWN	CHK'D	REL'D

**LAYOUT PLAN
MAJOR SITE PLAN
SOLAR CARPORTS FOR HACKETTSTOWN MEDICAL CENTER
TOWN OF HACKETTSTOWN
BLOCK 45, LOT 4**

SITUATED IN
TOWN OF HACKETTSTOWN, WARREN COUNTY, NEW JERSEY

Job No. 005-20-006	Drawer Number 000-000	Drawing Name 03-LAYOUT.dwg	3 OF 10
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STEPHEN J. ANDREWS
BL. 45, LOT 28

N/F
FRANCISCO D. ABAD
BL. 45, LOT 9

N/F
P. & P. GALLO
BL. 45, LOT 10

N/F
PETER P. HURYK, III
BL. 45, LOT 11

N/F
NEIL & J. YODS
BL. 45, LOT 12

N/F
W. & K.
DEISENROTH
BL. 45, LOT 13

N/F
THERESE
TOMLINSON
BL. 45, LOT 14

N/F
TOLORES ENGLEHART
BL. 45, LOT 15

N/F
ROLAND R. &
ANNAMARIE FLYNN
BL. 45, LOT 16

N 54°01'44" E 819.18'

TRAILER STORAGE AREA

ELECTRIC LINE
(TYP.)

ELECTRIC LINE
(TYP.)

10" STORM MANIFOLD,
1% SLOPE TOWARD
EXISTING INLET (TYP.)

STORM LINE
(TYP.)

CONNECT TO EXISTING
STORM INLET (TYP.)

10" STORM MANIFOLD,
1% SLOPE TOWARD
EXISTING INLET (TYP.)

CONNECT TO EXISTING
STORM INLET (TYP.)

NOTES:

- EXISTING STORM UTILITY INFORMATION TAKEN FROM PLANS ENTITLED "AS BUILT, GRADING AND UTILITY PLAN, HACKETTSTOWN COMMUNITY HOSPITAL EXPANSION," PREPARED BY CHERRY, WEBER & ASSOCIATED, LAST REVISED OCTOBER 23, 2007.
- SOLAR CARPORT ARRAY DESIGN TAKEN FROM PLANS ENTITLED "HACKETTSTOWN MEDICAL CENTER, OVERALL SITE PLAN - PV ARRAY LAYOUT", PREPARED BY PARASOL STRUCTURES, DATED JULY 27, 2021.

50 40 30 20 10 0 50 100 150

GRAPHIC SCALE
1 inch=50 feet

OWNER:
LOT 4 (FORMERLY 4, 401, 5, & 601)
ATLANTIC HEALTH SYSTEM, INC.
651 WILLOW GROVE ST.
HACKETTSTOWN, NJ 07840
PHONE (908) 852-3130

APPLICANT:
ABOVE GRID SOLAR CARPORT 2020 LLC
516 ROUTE 33 W, BUILDING 2, SUITE 101
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PHONE (908) 852-3130

PARTNER
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NO.	DATE	REVISION	DRAWN	CHKD	RELD

DRAINAGE AND UTILITY PLAN
MAJOR SITE PLAN
SOLAR CARPORTS FOR HACKETTSTOWN MEDICAL CENTER
TOWN OF HACKETTSTOWN
BLOCK 45, LOT 4

SITUATED IN
TOWN OF HACKETTSTOWN, WARREN COUNTY, NEW JERSEY

Job No. 005-20-006	Drawer Number 000-000	Drawing Name 0430.dwg	4 OF 10
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STEPHEN J. ANDREWS
BL. 45, LOT 28

N/F
FRANCISCO D. ABAD
BL. 45, LOT 9

N/F
P. & P. GALLO
BL. 45, LOT 10
12' HOUSE SIDE SHIELD PROPOSED
RELOCATED LIGHTS

N/F
PETER P. HURYK, III
BL. 45, LOT 11

N/F
NEIL & J. YODS
BL. 45, LOT 12

N/F
W. & K. DEISENROTH
BL. 45, LOT 13

N/F
THERESE TOMLINSON
BL. 45, LOT 14

N/F
TOLORES ENGLEHART
BL. 45, LOT 15

N/F
ROLAND R. & ANNAMARIE FLYNN
BL. 45, LOT 16

EXISTING DOUBLE HEAD FIXTURE
TO BE SPLIT AND RELOCATED
AT SAME MOUNTING HEIGHT (TYP.)

TREE TBR
(TYP.)

TREE TO REMAIN
(TYP.)

10'x10' CONC.
TRANSFORMER PAD

PROPOSED LED LIGHT
UNDER CANOPY(TYP.)

EXISTING LIGHT POLE
TO BE RELOCATED (TYP.)

PROPOSED LED LIGHT
UNDER CANOPY(TYP.)

SWITCH GEAR

LIGHT TBR (TYP.)

TREE TBR
(TYP.)

TREE TO REMAIN
(TYP.)

EXISTING LIGHT (TYP.)

EXISTING LIGHT POLE
TO BE RELOCATED (TYP.)

(CO. RTE. 604)

WILLOW

GROVE

STREET

NOTES:

- SOLAR CARPORT ARRAY DESIGN TAKEN FROM PLANS ENTITLED "HACKETTSTOWN MEDICAL CENTER, OVERALL SITE PLAN - PV ARRAY LAYOUT", PREPARED BY PARASOL STRUCTURES, DATED JULY 27, 2021.
- THE PROPOSED TREES NECESSARY TO REPLACE THE REMOVED TREES SHALL BE LOCATED IN THE "REPLACEMENT TREE AREAS" DEPICTED ON THE PLANS, PROVIDED THE REPLACEMENT TREE(S) DISTURB AS LITTLE EXISTING VEGETATION/BUFFER AS POSSIBLE. TREE REPLACEMENT SHALL NOT REMOVE MORE BUFFER THAN WILL BE REPLACED. THE PRECISE REPLACEMENT TREE LOCATIONS SHALL BE COORDINATED WITH THE MUNICIPAL ENGINEERING LANDSCAPE REPRESENTATIVE PRIOR TO REMOVING EXISTING VEGETATION AND PRIOR TO PLANTING REPLACEMENT TREES. IF THE REPLACEMENT TREES AT THESE "TREE REPLACEMENT AREAS" (BUFFER LOCATIONS) ARE FEWER THAN THE TREES REQUIRED TO REPLACE THE TREES REMOVED, THE BALANCE OF THE REPLACEMENT TREES SHALL BE PLANTED ON THE SUBJECT HOSPITAL PROPERTY AT LOCATIONS TO BE COORDINATED WITH THE HOSPITAL REPRESENTATIVE(S) AND THE MUNICIPAL ENGINEER LANDSCAPE REPRESENTATIVE.
- 33 TREES REMOVED AND 33 TO BE REPLACED

50 40 30 20 10 0 50 100 150

GRAPHIC SCALE
1 inch=50 feet

OWNER:
LOT 4 (FORMERLY 4, 4.01, 5, & 6.01)
ATLANTIC HEALTH SYSTEM, INC.
651 WILLOW GROVE ST.
HACKETTSTOWN, NJ 07840
PHONE (908) 852-3130

APPLICANT:
ABOVE GRID SOLAR CARPORT 2020 LLC
516 ROUTE 33 W, BUILDING 2, SUITE 101
MILLSTONE, NJ 08535
PHONE (908) 852-3130

PARTNER
Engineering and Science, Inc.
(a DBA of Partner Assessment Corp, a NJ Engineering firm)

WILLIAM McCOLLUM, L.L.A.
NJ LICENSED LANDSCAPE ARCHITECT Lic. No. 21A500105800

611 Industrial Way West
Easton, NJ 07724
Tel.: 732.380.1700
Fax: 732.380.1701
NJ Certificate of Authorization No. 24GA28222900
WWW.PARTNERESI.COM

Date: 07/27/2021 Scale: (H) 1"=50' (V) N/A Drawn: MS Designed: WM Checked: JS Released: JS

NO.	DATE	REVISION	DRAWN	CHKD	REL'D
TREE REPLACEMENT AND LIGHT RELOCATION PLAN MAJOR SITE PLAN SOLAR CARPORTS FOR HACKETTSTOWN MEDICAL CENTER TOWN OF HACKETTSTOWN BLOCK 45, LOT 4					
SITUATED IN TOWN OF HACKETTSTOWN, WARREN COUNTY, NEW JERSEY					
Job No. 21-319044.8	Drawer Number 000-000	Drawing Name: 05-TREE-LIGHT.dwg	5 OF 10		

NOTES:

- * The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLD is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications.
- * Illumination values shown (in footcandles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.
- * The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of RAB Lighting Inc.
- * Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.
- * It is the Owner's responsibility to confirm the suitability of the existing or proposed poles and bases to support the proposed fixtures, based on the weight and EPA of the proposed fixtures and the owner's site soil conditions and wind zone. It is recommended that a professional engineer licensed to practice in the state the site is located be engaged to assist in this determination.
- * The landscape material shown hereon is conceptual, and is not intended to be an accurate representation of any particular plant, shrub, bush, or tree, as these materials are living objects, and subject to constant change. The conceptual objects shown are for illustrative purposes only. The actual illumination values measured in the field will vary.
- * Photometric model elements such as buildings, rooms, plants, furnishings or any architectural details which impact the dispersion of light must be detailed by the customer documents for inclusion in the RAB lighting design model. RAB is not responsible for any inaccuracies caused by incomplete information on the part of the customer, and reserves the right to use best judgement when translating customer requests into photometric studies.
- * RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. Patents issued or pending apply.

NOTES:

SOLAR CARPORT ARRAY LOCATION AND DESIGN TAKEN FROM PLANS ENTITLED "HACKETTSTOWN MEDICAL CENTER, OVERALL SITE PLAN - PV ARRAY LAYOUT" DONE BY PARASOL STRUCTURES, DATED JULY 27, 2021.

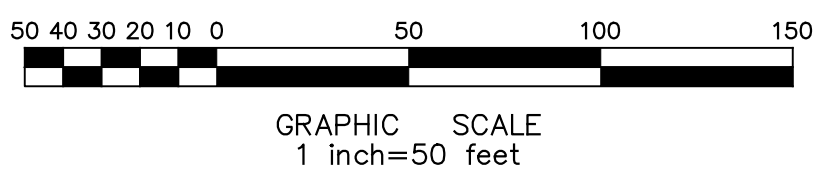
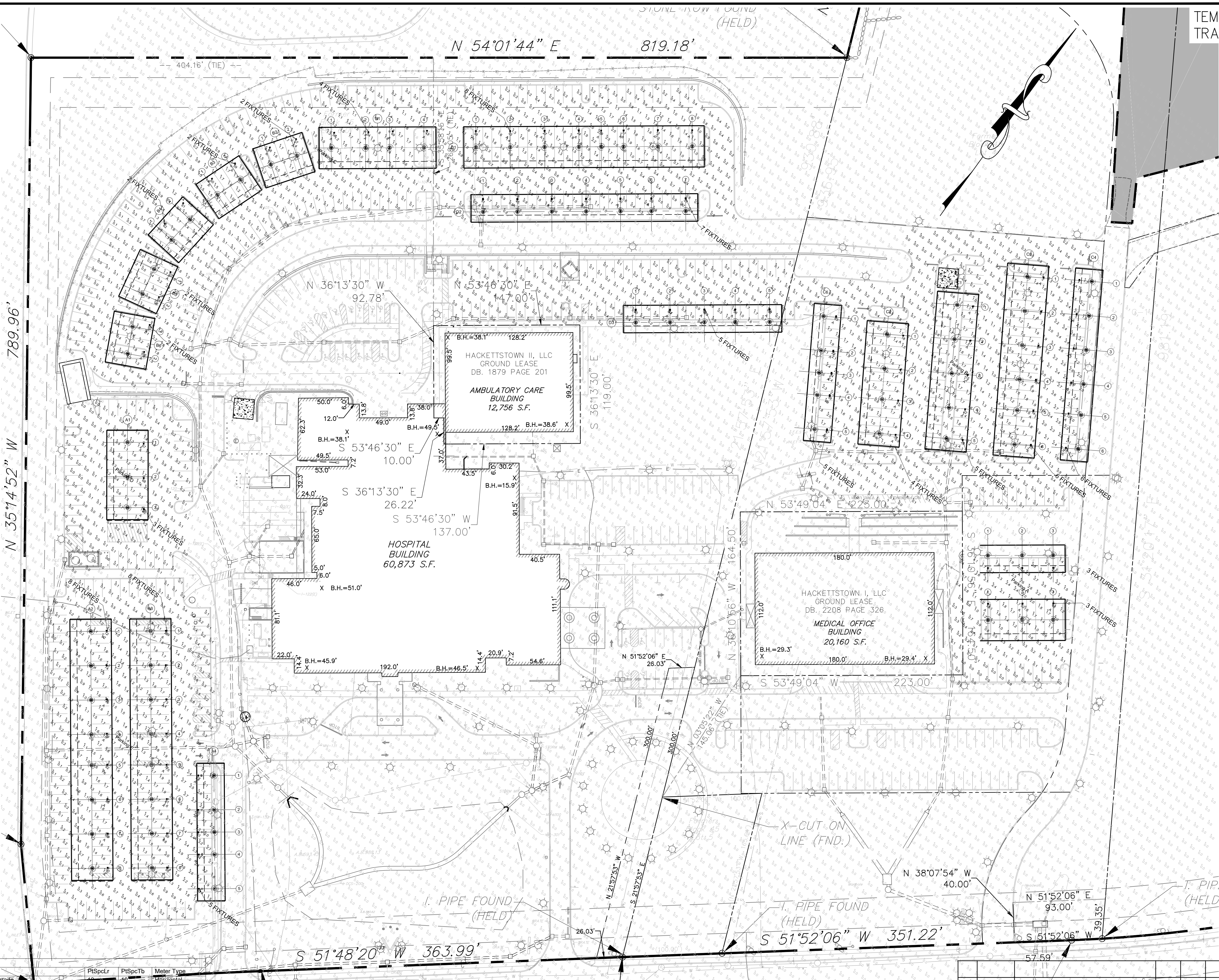
LIGHTING PLAN AND NOTES TAKEN FROM PLANS ENTITLED "AHS HACKETTSTOWN MEDICAL CENTER, LIGHTING LAYOUT, VERSION B" DATED JULY 19, 2021.

LIGHTING DESIGN SHOWN HEREON ASSUMES ADEQUATE EXISTING LIGHTING LEVELS. ADDITION OF PROPOSED CANOPY LIGHTING AND RELOCATION OF EXISTING LIGHT POLES WILL MATCH OR EXCEED EXISTING LIGHTING LEVELS.

THE LIGHTING LEVELS DEPICTED ARE FOR THE SOLAR ARRAY UNDERLIGHTING ONLY. THE EXISTING SITE LIGHTING IS ASSUMED TO MEET HOSPITAL AND MUNICIPAL STANDARDS. THE RESULTING LIGHTING THAT COMBINES THE EXISTING LIGHTING TO REMAIN, THE RELOCATED SITE LIGHTING, AND THE PROPOSED SOLAR ARRAY UNDERLIGHTING, WILL MEET OR EXCEED THE EXISTING LIGHTING LEVELS AND WILL BE WITHIN THE MUNICIPAL LIGHTING REQUIREMENTS. CARE HAS BEEN TAKEN TO RELOCATE EXISTING SITE LIGHTING SUCH THAT THE ADJOINING RESIDENTIAL PROPERTIES ARE NOT NEGATIVELY IMPACTED BY THE SOLAR ARRAY LIGHTING OR THE RELOCATED SITE LIGHTING. THE APPLICANT PROPOSES TO PERFORM LIGHT LEVEL MEASUREMENTS IMMEDIATELY AFTER CONSTRUCTING THE SOLAR ARRAY LIGHTING AND RELOCATED SITE LIGHTING TO CONFIRM/VERIFY LIGHT LEVEL CONDITIONS RESULTING FROM THESE PROPOSED IMPROVEMENTS ARE WITHIN ACCEPTABLE MUNICIPAL LIGHTING STANDARDS.

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	
Parking A	Illuminance	Fc	0.93	2.7	0.0	N.A.	N.A.	readings taken at grade	PtSpLr
Parking B	Illuminance	Fc	0.80	2.8	0.0	N.A.	N.A.	readings taken at grade	PtSpTb
Parking C	Illuminance	Fc	0.74	2.4	0.0	N.A.	N.A.	readings taken at grade	
Parking D	Illuminance	Fc	0.40	2.3	0.0	N.A.	N.A.	readings taken at grade	
Parking E	Illuminance	Fc	1.05	3.4	0.0	N.A.	N.A.	readings taken at grade	
Site	Illuminance	Fc	0.03	2.1	0.0	N.A.	N.A.	readings taken at grade	
Parking A - Under Canopy	Illuminance	Fc	1.58	2.7	0.2	7.90	13.50	Stat area	
Parking B - Under Canopy - East	Illuminance	Fc	1.44	2.8	0.0	N.A.	N.A.	Stat area	
Parking B - Under Canopy - West	Illuminance	Fc	0.77	1.7	0.2	3.85	8.50	Stat area	
Parking C - Under Canopy	Illuminance	Fc	1.03	2.4	0.0	N.A.	N.A.	Stat area	
Parking D - Under Canopy	Illuminance	Fc	1.05	2.3	0.1	10.50	23.00	Stat area	
Parking E - Under Canopy	Illuminance	Fc	1.47	3.4	0.2	7.35	17.00	Stat Area	

Luminaire Schedule							
Symbol	Qty	Tag	Label	Arrangement	LLF	Description	BUG Rating
	90	A	PRT30Y	SINGLE	1.000	Surface mounted to cross beam	B2-U4-G2



OWNER:
LOT 4 (FORMERLY 4, 4.01, 5, & 6.01)
ATLANTIC HEALTH SYSTEM, INC.
651 WILLOW GROVE ST.
HACKETTSTOWN, NJ 07840
PHONE (908) 852-3130

APPLICANT:
ABOVE GRID SOLAR CARPORT 2020 LLC
516 ROUTE 33 W, BUILDING 2, SUITE 101
MILLSTONE, NJ 08535
PHONE (908) 852-3130

PARTNER
Engineering and Science, Inc.
(a DBA of Partner Assessment Corp, a NJ Engineering firm)

WILLIAM McCOLLUM, L.L.A.
NJ LICENSED LANDSCAPE ARCHITECT Lic. No. 21AS00105800

611 Industrial Way West
Easton, NJ 07724
NJ Certificate of Authorization No. 24GA28222900

Tel.: 732.380.1700
Fax: 732.380.1701
WWW.PARTNERESI.COM

Date: 07/27/2021
Scale: (H) 1"=50'
(V) N/A

Drawn: MS
Designed: WM
Checked: JS
Released: JS

**LIGHTING PLAN
MAJOR SITE PLAN**
SOLAR CARPORTS FOR HACKETTSTOWN MEDICAL CENTER
TOWN OF HACKETTSTOWN
BLOCK 45, LOT 4

SITUATED IN
TOWN OF HACKETTSTOWN, WARREN COUNTY, NEW JERSEY

Job No. 21-319044.8
Drawer Number 000-000
Drawing Name: 06-LIGHTING.dwg

6 OF 10

STEPHEN J. ANDREWS
BL. 45, LOT 28

N/F
FRANCISCO D. ABAD
BL. 45, LOT 9

N/F
P. & P. GALLO
BL. 45, LOT 10

N/F
PETER P. HURYK, III
BL. 45, LOT 11

N/F
NEIL & J. YODS
BL. 45, LOT 12

N/F
W. & K. DEISENROTH
BL. 45, LOT 13

N/F
THERESE TOMLINSON
BL. 45, LOT 14

N/F
TOLORES ENGLEHART
BL. 45, LOT 15

N/F
ROLAND R. & ANNAMARIE FLYNN
BL. 45, LOT 16

N/F
ROLAND R. & ANNAMARIE FLYNN
BL. 45, LOT 17

N/F
ROLAND R. & ANNAMARIE FLYNN
BL. 45, LOT 18

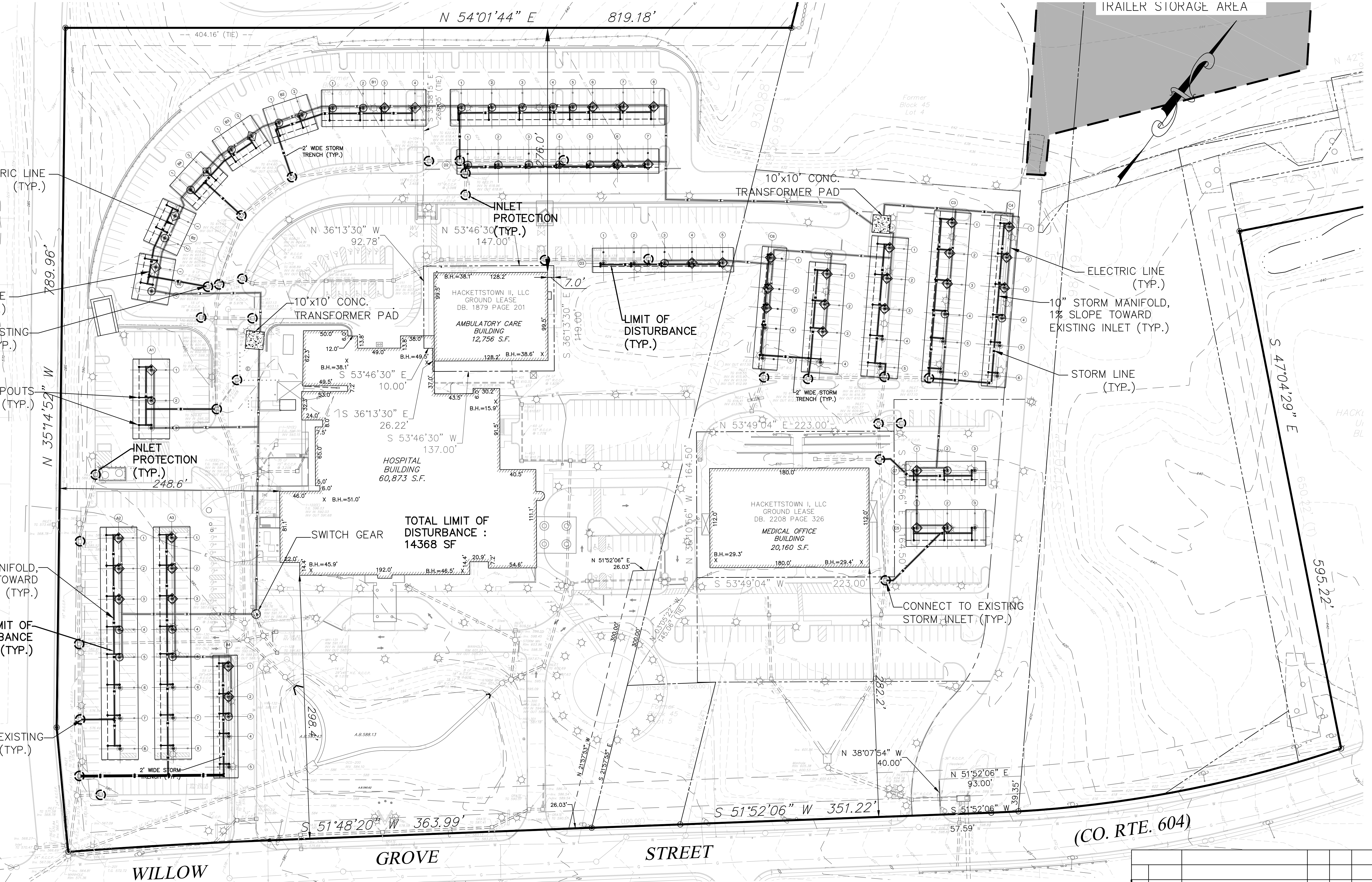
N/F
ROLAND R. & ANNAMARIE FLYNN
BL. 45, LOT 19

N/F
ROLAND R. & ANNAMARIE FLYNN
BL. 45, LOT 20

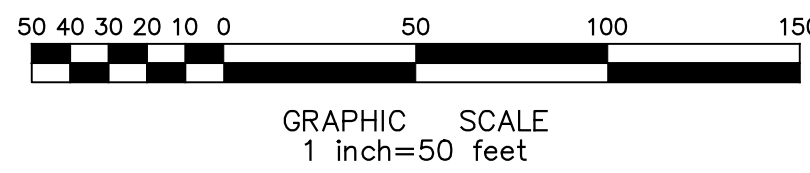
N/F
ROLAND R. & ANNAMARIE FLYNN
BL. 45, LOT 21

N/F
ROLAND R. & ANNAMARIE FLYNN
BL. 45, LOT 22

N/F
ROLAND R. & ANNAMARIE FLYNN
BL. 45, LOT 23



NOTE: SOLAR CARPORT ARRAY DESIGN TAKEN FROM PLANS
ENTITLED "HACKETTSTOWN MEDICAL CENTER, OVERALL SITE PLAN
- PV ARRAY LAYOUT", PREPARED BY PARASOL STRUCTURES,
DATED JULY 27, 2021.



OWNER:
LOT 4 (FORMERLY 4, 4.01, 5, & 6.01)
ATLANTIC HEALTH SYSTEM, INC.
651 WILLOW GROVE ST.
HACKETTSTOWN, NJ 07840
PHONE (908) 852-3130

APPLICANT:
ABOVE GRID SOLAR CARPORT 2020 LLC
516 ROUTE 33 W, BUILDING 2, SUITE 101
MILLSTONE, NJ 08535
PHONE (908) 852-3130

PARTNER
Engineering and Science, Inc.
(a DBA of Partner Assessment Corp, a NJ Engineering firm)

JEFFREY C. SZABO, P.E.
NJ PROFESSIONAL ENGINEER Lic. No. 24GE04457700

611 Industrial Way West
Easton, NJ 07824
Tel.: 732.380.1700
Fax: 732.380.1701
WWW.PARTNERESI.COM

Date: 07/27/2021 Scale: (H) 1"=50' (V) N/A Drawn: MS Designed: JS Checked: PS Released: JS

SOIL EROSION & SEDIMENT CONTROL PLAN MAJOR SITE PLAN SOLAR CARPORTS FOR HACKETTSTOWN MEDICAL CENTER TOWN OF HACKETTSTOWN BLOCK 45, LOT 4				
SITUATED IN TOWN OF HACKETTSTOWN, WARREN COUNTY, NEW JERSEY				
Job No. 005-20-006	Drawer Number 000-000	Drawing Name 07SESC.dwg	7 OF 10	

UPPER DELAWARE CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL GENERAL NOTES

- THE DISTRICT SHALL BE REPRESENTED AT THE PROJECT PRECONSTRUCTION MEETING WITH THE TOWNSHIP ENGINEER, CONTRACTORS, AND UTILITY REPRESENTATIVES. IF THE TOWNSHIP ENGINEER DOES NOT SCHEDULE A PRECONSTRUCTION MEETING, IT IS THE RESPONSIBILITY OF THE OWNER/APPLICANT TO SCHEDULE ONE BEFORE ANY LAND DISTURBANCE. TWO WEEKS NOTICE MUST BE GIVEN FOR SCHEDULING PRECONSTRUCTION MEETINGS.
- FAILURE OF THE AFORESAID PLAN SHALL NOT RELIEVE THE APPLICANT OF ANY OF ITS RESPONSIBILITIES RELATIVE TO THE APPROVED EROSION AND SEDIMENT CONTROL MEASURES. ADDITIONAL PLANS AND MEASURES REQUIRED AS DEEMED NECESSARY BY THE DISTRICT IN THE EVENT OF ANY UNFORESEEN PROBLEMS INCURRED DURING CONSTRUCTION.
- ANY CHANGES OF APPROVED PLANS SHALL REQUIRE AN ADDITIONAL SUBMITTAL TO THE DISTRICT INCLUDING APPROPRIATE RE-REVIEW FEES.
- A 48 HOUR START OF LAND DISTURBANCE NOTIFICATION SHALL BE GIVEN.
- IF THAT N.J.S.A. 4-24-39 ET SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BY THE MUNICIPALITY BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH THE UPPER DELAWARE CONSERVATION DISTRICT DURING THE NONWORKING SEASON IF ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS WILL BE COMPLETED BEFORE THE DISTRICT ISSUES A CERTIFICATE OF COMPLIANCE, TWO WEEKS NOTICE MUST BE GIVEN TO THE DISTRICT TO SCHEDULE INSPECTION FOR CERTIFICATE OF COMPLIANCE RELEASE.
- FINAL STABILIZATION OF ALL LAND DISTURBANCES ASSOCIATED WITH UNDERGROUND UTILITIES, IRRESPECTIVE OF PHASING, IS THE ULTIMATE RESPONSIBILITY OF THE OWNER.
- A CASH BOND OF NOT LESS THAN \$2,500. (PER DISTURBED ACRE OR PART THEREOF, OR A LOT) WILL BE FORFEITED WITH THE UPPER DELAWARE CONSERVATION DISTRICT DURING THE NONWORKING SEASON IF A CERTIFICATE OF COMPLIANCE IS NEEDED AND SOIL EROSION AND SEDIMENT CONTROL MEASURES FOR PERMANENT STABILIZATION ARE NOT COMPLETED.
- SEDIMENT TRACKING UNTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEEP AT THE END OF EACH WORKING DAY.
- NO BUILDING PERMITS WILL BE RELEASED UNTIL ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON APPROVED PLANS ARE INSTALLED.
- DUST TO BE CONTROLLED WITH WATER, CALCIUM CHLORIDE OR OTHER METHOD APPROVED BY THE SOIL CONSERVATION DISTRICT.
- TRACKING PAD TO BE KEPT CLEAN AND REPAIRED AS NECESSARY.
- SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, IN NEW JERSEY, FEBRUARY 2014.
- SEE DETAIL SHEETS FOR ADDITIONAL SOIL AND SEDIMENT CONTROL DETAILS.

CONSTRUCTION SEQUENCE

ITEMS AND DURATIONS OF CONSTRUCTION WILL OCCUR APPROXIMATELY AS FOLLOWS:

PHASE	DURATION
1. TEMPORARY SOIL EROSION FACILITIES	1 WEEK
2. TRENCING/HOLE INSTALL	2 WEEKS
3. CARPORT ERECTION	2 MONTHS
4. TRENC BACKFILL AND PAVEMENT REPAIR	1 WEEK
5. INSTALL UTILITY PADS	1 WEEK
6. REMOVE SEDIMENT PRECAUTIONS	1 WEEK

* TEMPORARY SEEDING SHALL ALSO BE PERFORMED WHEN NECESSARY IN ACCORDANCE WITH NOTE NO. 2 OF THE SOIL EROSION AND SEDIMENT CONTROL NOTES.

Standards for Soil Erosion and Sediment Control in New Jersey

January 2014

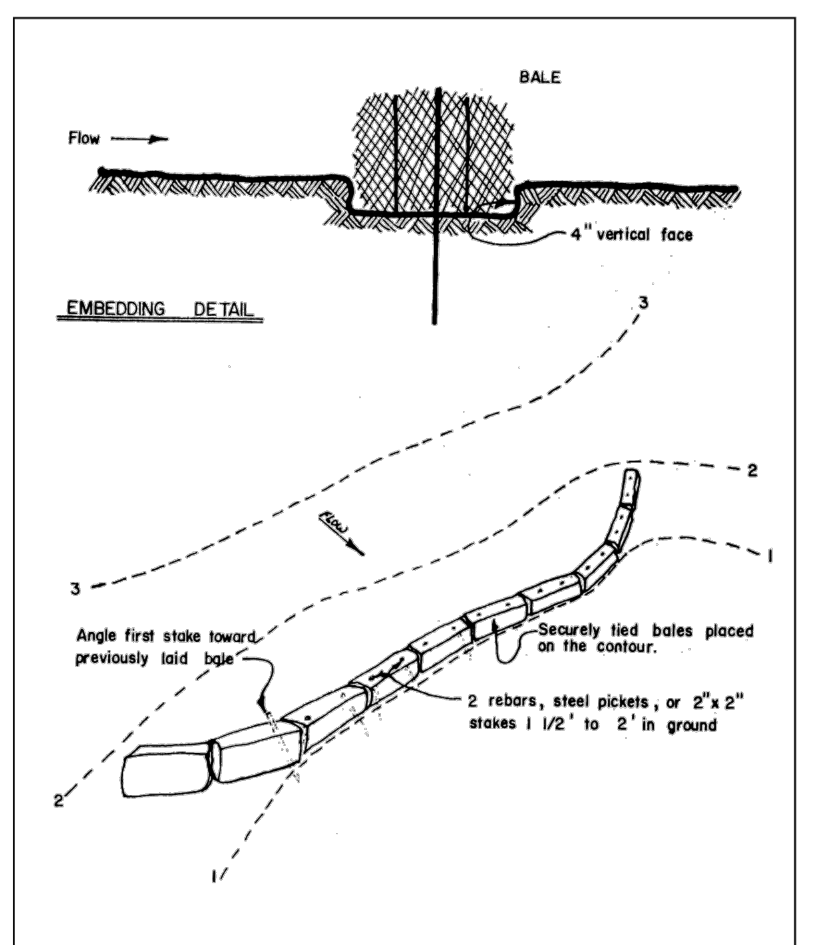
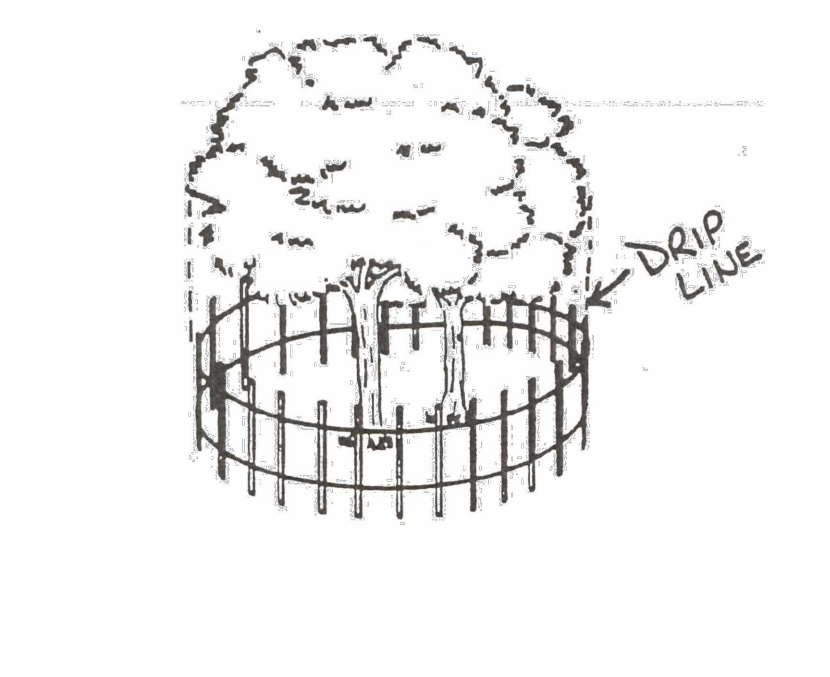
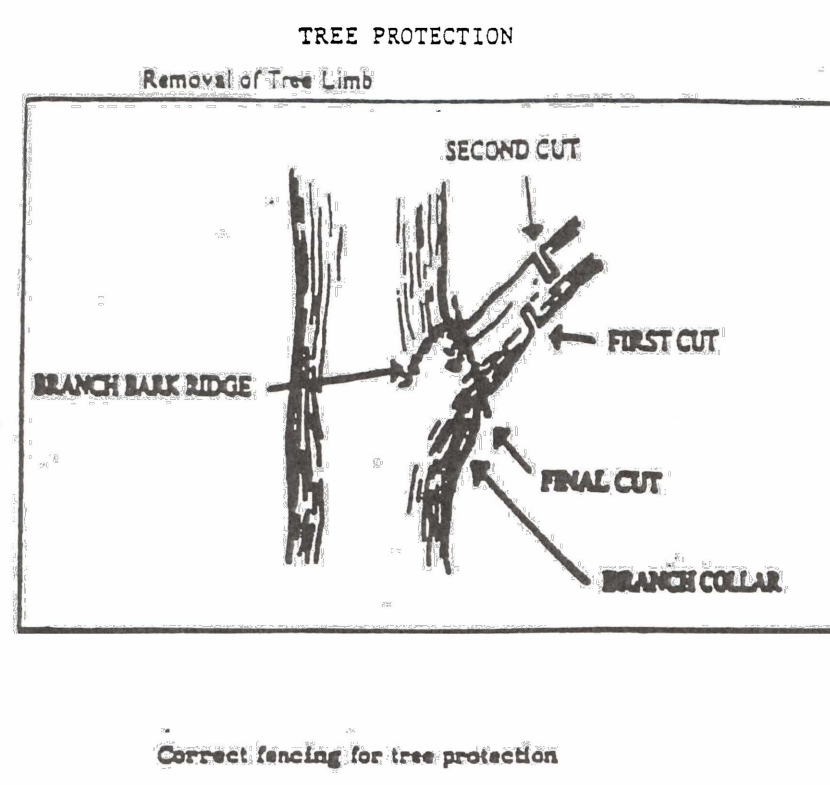


Figure 23-1: Placement and Anchoring Detail Bale Sediment Barriers



SPPP REQUIRED INSPECTIONS AND REPORTS

- ROUTINE INSPECTIONS
- A. THE PERMITTEE SHALL CONDUCT AND DOCUMENT ROUTINE INSPECTIONS OF THE FACILITY TO IDENTIFY AREAS CONTRIBUTING TO THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT AND EVALUATE WHETHER THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) IDENTIFIED UNDER E-1 OF THE SP-CONSTRUCTION ACTIVITY COMPLIANCE CHECKLIST (CCL) IN THE NARRATIVE REQUIREMENTS, INCLUDING THIS SOIL EROSION AND SEDIMENT CONTROL PLAN, IS BEING PROPERLY IMPLEMENTED AND MAINTAINED, OR WHETHER ADDITIONAL MEASURES ARE NEEDED TO IMPLEMENT THE SP-PP. (ROUTINE INSPECTIONS MINIMUM WEEKLY).
- B. OTHER RECORD-KEEPING REQUIREMENTS

THE CONTRACTOR SHALL KEEP THE FOLLOWING RECORDS RELATED TO CONSTRUCTION ACTIVITIES AT THE SITE:

- DATES WHEN MAJOR GRADING ACTIVITIES OCCUR AND THE AREAS WHICH WERE GRADED
- DATES AND DETAILS CONCERNING THE INSTALLATION OF STRUCTURAL CHANGES IN THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT (THE PRECEDING SENTENCE DOES NOT APPLY TO ANY MANUFACTURER'S RECOMMENDATIONS ABOUT FERTILIZER OR OTHER MATERIAL THAT CONFLICT WITH THE EROSION AND SEDIMENT CONTROL COMPONENT OF THE FACILITY'S SP-PP)
- DATES WHEN AN AREA IS STABILIZED, EITHER TEMPORARILY OR PERMANENTLY
- DATES OF RAINFALL AND THE AMOUNT OF RAINFALL
- RECORDS OF REPORTS FILED WITH REGULATORY AGENCIES IF REPORTABLE QUANTITIES OF HAZARDOUS MATERIALS SPILLED
- A VISIBLE SIGN SHALL BE POSTED ON THE SITE TO IDENTIFY THE LOCATION OF SP-PP

ANNUAL REPORTS AND CERTIFICATIONS

- A. THE PERMITTEE SHALL PREPARE AN ANNUAL REPORT SUMMARIZING EACH INSPECTION PERFORMED UNDER 1.A. ABOVE. THIS REPORT SHALL BE ACCOMPANIED BY AN ANNUAL CERTIFICATION, ON A FORM PROVIDED BY THE DISTRICT, THAT THE FACILITY IS IN COMPLIANCE WITH ITS SP-PP. THE PERMITTEE, EXCEPT THAT IF THERE ARE ANY INCIDENTS OF NONCOMPLIANCE, THOSE INCIDENTS SHALL BE IDENTIFIED IN THE CERTIFICATION. IF THERE ARE INCIDENTS OF NONCOMPLIANCE, THE PERMITTEE SHALL IDENTIFY THE STEPS BEING TAKEN TO REMEDY THE NONCOMPLIANCE AND TO PREVENT SUCH INCIDENTS FROM RECURRING. THE REPORT AND CERTIFICATION SHALL BE SIGNED AND DATED BY THE PERMITTEE. IN ACCORDANCE WITH N.J.A.C. 7:14A-4.9, AND SHALL BE MAINTAINED FOR A PERIOD OF AT LEAST FIVE YEARS ALONG WITH COPIES OF ALL INSPECTION REPORTS AND RECORD KEEPING. THIS REPORT MAY BE EXTENDED BY WRITTEN REQUEST FROM THE DEPARTMENT AT ANY TIME (SEE N.J.A.C. 7:14A-6.8)

REPORTS OF NONCOMPLIANCE

- A. ALL INSTANCES OF NONCOMPLIANCE NOT REPORTED UNDER N.J.A.C. 7:14A-6.10 SHALL BE REPORTED TO THE DEPARTMENT ANNUALLY.
- NOTIFICATION OF COMPLETION

- A. THE SOIL CONSERVATION DISTRICT WILL PROVIDE THE DEPARTMENT A COPY OF THE REPORT OF COMPLIANCE ISSUED UNDER N.J.A.C. 7:26-1.4 FOR COMPLETED CONSTRUCTION ACTIVITIES, EXCEPT SINGLE FAMILY HOME CONSTRUCTION UNDER B. BELOW. THE REPORT OF COMPLIANCE SHALL SERVE AS THE NOTIFICATION OF COMPLETION.

- B. THE BUILDER OF A SINGLE FAMILY HOME THAT IS AUTHORIZED UNDER THIS PERMIT, BUT NOT WITHIN THE DEFINITION OF "PROJECT" AT N.J.S.A. 4:24-39, SHALL SIGN AND DATE THE REPORT OF COMPLIANCE. THE SOIL CONSERVATION DISTRICT WILL PROVIDE A COPY OF THE REPORT OF COMPLIANCE TO THE DEPARTMENT, WHICH WILL SERVE AS NOTIFICATION OF COMPLETION.

MITIGATION NOTES FOR ACIDIC SOIL

- LIMIT THE EXCAVATION AREA AND EXPOSURE TIME WHEN HIGH ACID-PRODUCING SOILS ARE ENCOUNTERED.
- TOPSOIL STRIPPED FROM THE SITE SHALL BE STORED SEPARATELY FROM TEMPORARILY STOCKPILED HIGH ACID-PRODUCING SOILS.
- STOCKPILES OF HIGH ACID-PRODUCING SOIL SHALL BE LOCATED ON LEVEL LAND TO MINIMIZE ITS MOVEMENT, ESPECIALLY WHEN THIS MATERIAL HAS A HIGH CLAY CONTENT.
- TEMPORARILY STOCKPILED HIGH ACID-PRODUCING SOIL MATERIAL TO BE STORED MORE THAN 48 HOURS SHOULD BE COVERED WITH PROPERLY ANCHORED, HEAVY GAUGE SHEETS OF POLYETHYLENE WHEN POSSIBLE. IF NOT POSSIBLE, STOCKPILES SHALL BE COVERED WITH A MINIMUM OF 3 TO 6 INCHES OF WOOD CHIPS TO MINIMIZE EROSION OF THE STOCKPILE. SILT FENCE SHALL BE INSTALLED AT THE TOE OF THE SLOPE TO CONTAIN MOVEMENT OF THE STOCKPILED MATERIAL. TOPSOIL SHALL NOT BE APPLIED TO THE STOCKPILES TO PREVENT TOPSOIL CONTAMINATION WITH HIGH ACID-PRODUCING SOIL.

- HIGH ACID-PRODUCING SOILS WITH A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE (INCLUDING BORROW FROM CUTS OR DREGGED SEDIMENT) SHALL BE ULTIMATELY PAVED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS PER ACRE (OR 450 POUNDS PER 1,000 SQUARE FEET OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12 INCHES OF SETTLING SOIL WITH A PH OF 6.5 OR MORE EXCEPT FOLLOWS:

- a. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF 24 INCHES OF SOIL WITH A PH OF 6.5 OR MORE.
- b. DISPOSAL AREAS SHALL NOT BE LOCATED WITHIN 24 INCHES OF ANY SURFACE OF A SLOPE OR BANK, SUCH AS STREAM BANKS, STREAM DITCHES, AND OTHERS, TO PREVENT POTENTIAL LATERAL LEACHING DAMAGES.

- EQUIPMENT USED FOR MOVEMENT OF HIGH ACID-PRODUCING SOILS SHOULD BE CLEANED AT THE END OF EACH DAY TO PREVENT SPREADING OF HIGH ACID-PRODUCING SOIL MATERIALS TO OTHER PARTS OF THE SITE, INTO STREAMS OR STORMWATER CONVEYANCES, AND TO PROTECT MACHINERY FROM ACCELERATED RUSTING.

- NON-VEGETATIVE EROSION CONTROL PRACTICES (STONE TRACKING PADS, STRATEGICALLY PLACED LIMESTONE CHECK DAM, SEDIMENT BARRIER, WOOD CHIPS) SHOULD BE INSTALLED TO LIMIT THE MOVEMENT OF HIGH ACID-PRODUCING SOILS FROM AROUND, OFF THE SITE.

- FOLLOWING BURIAL OR REMOVAL OF HIGH ACID-PRODUCING SOIL, TOPSOILING AND SEEDING OF THE SITE (SEE TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, AND TOPSOILING). MONITORING MUST CONTINUE FOR A MINIMUM OF 6 MONTHS TO ENSURE THERE IS ADEQUATE STABILIZATION OF THE SITE THAT NO HIGH ACID-PRODUCING SOIL PROBLEMS EMERGE. IF PROBLEMS STILL EXIST, THE AFFECTED AREA MUST BE TREATED AS INDICATED ABOVE TO CORRECT THE PROBLEM.

CONSTRUCTION SITE WASTE CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP)

- THE CONSTRUCTION SITE WASTE CONTROL COMPONENT OF THE SP-PP CONSISTS OF THE REQUIREMENTS IN 2., 3., AND 4. BELOW. THESE REQUIREMENTS BECOME OPERATIVE ON MARCH 3, 2004, AND APPLY TO ALL PROJECTS THAT COMMENCE CONSTRUCTION ON OR AFTER MARCH 3, 2004. PUBLIC PROJECTS THAT HAVE GONE OUT FOR BID OR HAVE BEEN AWARDED PRIOR TO MARCH 3, 2004, ARE EXEMPT FROM THE NEW REQUIREMENTS. THE NEW REQUIREMENTS FOR CONSTRUCTION SITE WASTE MANAGEMENT, CONSTRUCTION ACTIVITIES THAT COMMENCED PRIOR TO MARCH 3, 2004 BUT DID NOT OBTAIN CERTIFICATION (OR APPROVAL FROM EXEMPT MUNICIPALITY) REQUIRED UNDER THE SOIL EROSION AND SEDIMENT CONTROL ACT ARE NOT EXEMPT FROM THE REQUIREMENTS IN THIS SECTION. ANY OTHER NEW CONSTRUCTION ACTIVITY FOR WHICH AN ALTERNATE PERMIT IS REQUIRED AFTER MARCH 3, 2004, WHICH REQUIRES A DISCHARGE AUTHORIZATION UNDER THIS PERMIT AFTER MARCH 3, 2004, ALSO SHALL COMPLY WITH THESE REQUIREMENTS.

- MATERIAL MANAGEMENT TO PREVENT OR REDUCE WASTE – ANY PESTICIDES, FERTILIZERS, FUELS, LUBRICANTS, PAINTS, AND PAINT THINNERS, AND PAINT THINNERS, CLEANING SOLVENTS AND ACIDS, DETERGENTS, CHEMICAL ADDITIVES, AND CONCRETE CURING COMPOUNDS SHALL BE STORED IN CONTAINERS IN A DRY COVERED AREA. MANUFACTURERS' RECOMMENDATION APPLICATION RATES, USES, AND METHODS SHALL BE STRICTLY FOLLOWED TO THE EXTENT NECESSARY TO PREVENT OR MINIMIZE THE PRESENCE OF WASTE FROM SUCH MATERIALS IN THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT. (THE PRECEDING SENTENCE DOES NOT APPLY TO ANY MANUFACTURER'S RECOMMENDATIONS ABOUT FERTILIZER OR OTHER MATERIAL THAT CONFLICT WITH THE EROSION AND SEDIMENT CONTROL COMPONENT OF THE FACILITY'S SP-PP)

- WASTE HANDLING – THE FOLLOWING REQUIREMENTS APPLY ONLY TO CONSTRUCTION SITE WASTE THAT HAS THE POTENTIAL TO BE TRANSPORTED BY THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT. THE HANDLING OF CONSTRUCTION SITE WASTE BUILDING MATERIAL AND RUBBLE AND OTHER CONSTRUCTION SITE WASTES, INCLUDING LUTER, DISCHARGE, AUTHORIZED BY THIS PERMIT. CONSTRUCTION SITES SHALL HAVE ONE OR MORE DESIGNATED WASTE COLLECTION AREAS ONSITE OR ADJACENT TO THE SITE, AND AN ADEQUATE MEANS OF CONTAINMENT. THESE AREAS SHALL BE IDENTIFIED IN THE SP-PP. THE SP-PP SHALL AS TO PREVENT WASTE MATERIALS FROM OVERFLOWING, LEAKING, OR BLOWING OUT OF THE CONTAINERS, SPLIS, LEAKS, AND OVERFLOWS, WHICH DO OCCUR, SHALL BE CLEANUP IMMEDIATELY.

- A. CONSTRUCTION SITE WASTES INCLUDE BUT ARE NOT LIMITED TO:
 - "CONSTRUCTION AND DEMOLITION WASTE" AS DEFINED IN N.J.A.C. 7:26-1.4 AS FOLLOWS: WASTE BUILDING MATERIAL AND RUBBLE RESULTING FROM CONSTRUCTION, DEMOLITION, REPAIR, AND DEMOLITION OPERATIONS ON HOUSES, COMMERCIAL BUILDINGS, PAVEMENTS AND OTHER STRUCTURES. THE FOLLOWING MATERIALS MAY BE FOUND IN CONSTRUCTION AND DEMOLITION WASTE: BRICKS, CONCRETE, ASPHALT, BRICKS, BLOCKS AND OTHER MASONRY, PLASTER AND TREATED BOARD, ROOFING MATERIALS, CORRUGATED CARDBOARD AND MISCELLANEOUS PAPER, FERROUS AND NON-FERROUS METAL, NON-ASBESTOS BUILDING INSULATION, PLASTIC SPOUR, DIRT, CARPETS AND PADINGS, GLASS (WINDOW AND DOOR) AND OTHER MISCELLANEOUS MATERIALS, BUT SHALL NOT INCLUDE OTHER SOLID WASTE TYPES.
 - ANY WASTE BUILDING MATERIAL AND RUBBLE RESULTING FROM SUCH OPERATIONS THAT IS HAZARDOUS FOR PURPOSES OF N.J.A.C. 7:26-6 (THE HAZARDOUS WASTE RULES).

- II. CONSTRUCTION AND DEMOLITION WASTE – ANY PESTICIDES, FERTILIZERS, FUELS, LUBRICANTS, PETROLEUM PRODUCTS, ANTI-FREEZE, PAINTS AND PAINT THINNERS, PAINT CHIPS AND SANDBAGS ONITE, CONSTRUCTION SITES SHALL HAVE ONE OR MORE DESIGNATED WASTE COLLECTION AREAS ONSITE OR ADJACENT TO THE SITE, AND AN ADEQUATE MEANS OF CONTAINMENT. THESE AREAS SHALL BE IDENTIFIED IN THE SP-PP. THE SP-PP SHALL AS TO PREVENT WASTE MATERIALS FROM OVERFLOWING, LEAKING, OR BLOWING OUT OF THE CONTAINERS, SPLIS, LEAKS, AND OVERFLOWS, WHICH DO OCCUR, SHALL BE CLEANUP IMMEDIATELY.

- III. CONSTRUCTION AND DEMOLITION WASTE – ANY PESTICIDES, FERTILIZERS, FUELS, LUBRICANTS, PETROLEUM PRODUCTS, ANTI-FREEZE, PAINTS AND PAINT THINNERS, PAINT CHIPS AND SANDBAGS ONITE, CONSTRUCTION SITES SHALL HAVE ONE OR MORE DESIGNATED WASTE COLLECTION AREAS ONSITE OR ADJACENT TO THE SITE, AND AN ADEQUATE MEANS OF CONTAINMENT. THESE AREAS SHALL BE IDENTIFIED IN THE SP-PP. THE SP-PP SHALL AS TO PREVENT WASTE MATERIALS FROM OVERFLOWING, LEAKING, OR BLOWING OUT OF THE CONTAINERS, SPLIS, LEAKS, AND OVERFLOWS, WHICH DO OCCUR, SHALL BE CLEANUP IMMEDIATELY.

- IV. CONSTRUCTION AND DEMOLITION WASTE – ANY PESTICIDES, FERTILIZERS, FUELS, LUBRICANTS, PETROLEUM PRODUCTS, ANTI-FREEZE, PAINTS AND PAINT THINNERS, PAINT CHIPS AND SANDBAGS ONITE, CONSTRUCTION SITES SHALL HAVE ONE OR MORE DESIGNATED WASTE COLLECTION AREAS ONSITE OR ADJACENT TO THE SITE, AND AN ADEQUATE MEANS OF CONTAINMENT. THESE AREAS SHALL BE IDENTIFIED IN THE SP-PP. THE SP-PP SHALL AS TO PREVENT WASTE MATERIALS FROM OVERFLOWING, LEAKING, OR BLOWING OUT OF THE CONTAINERS, SPLIS, LEAKS, AND OVERFLOWS, WHICH DO OCCUR, SHALL BE CLEANUP IMMEDIATELY.

- V. CONSTRUCTION AND DEMOLITION WASTE – ANY PESTICIDES, FERTILIZERS, FUELS, LUBRICANTS, PETROLEUM PRODUCTS, ANTI-FREEZE, PAINTS AND PAINT THINNERS, PAINT CHIPS AND SANDBAGS ONITE, CONSTRUCTION SITES SHALL HAVE ONE OR MORE DESIGNATED WASTE COLLECTION AREAS ONSITE OR ADJACENT TO THE SITE, AND AN ADEQUATE MEANS OF CONTAINMENT. THESE AREAS SHALL BE IDENTIFIED IN THE SP-PP. THE SP-PP SHALL AS TO PREVENT WASTE MATERIALS FROM OVERFLOWING, LEAKING, OR BLOWING OUT OF THE CONTAINERS, SPLIS, LEAKS, AND OVERFLOWS, WHICH DO OCCUR, SHALL BE CLEANUP IMMEDIATELY.

- VI. CONSTRUCTION AND DEMOLITION WASTE – ANY PESTICIDES, FERTILIZERS, FUELS, LUBRICANTS, PETROLEUM PRODUCTS, ANTI-FREEZE, PAINTS AND PAINT THINNERS, PAINT CHIPS AND SANDBAGS ONITE, CONSTRUCTION SITES SHALL HAVE ONE OR MORE DESIGNATED WASTE COLLECTION AREAS ONSITE OR ADJACENT TO THE SITE, AND AN ADEQUATE MEANS OF CONTAINMENT. THESE AREAS SHALL BE IDENTIFIED IN THE SP-PP. THE SP-PP SHALL AS TO PREVENT WASTE MATERIALS FROM OVERFLOWING, LEAKING, OR BLOWING OUT OF THE CONTAINERS, SPLIS, LEAKS, AND OVERFLOWS, WHICH DO OCCUR, SHALL BE CLEANUP IMMEDIATELY.

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STANDARD FOR STABILIZATION WITH MULCH ONLY

- DEFINITION
STABILIZING EXPOSED SOILS WITH NON-VEGETATIVE MATERIALS EXPOSED FOR PERIODS LONGER THAN 14 DAYS.
PURPOSE
TO PROTECT EXPOSED SOIL SURFACES FROM EROSION DAMAGE AND TO REDUCE OFFSITE ENVIRONMENTAL DAMAGE.
WATER QUALITY ENHANCEMENT
PROVIDES TEMPORARY PROTECTION AGAINST WIND OR RAINFALL INDUCED SOIL EROSION UNTIL PERMANENT VEGETATIVE COVER MAY BE ESTABLISHED.
CONDITIONS WHERE PRACTICE APPLIES
THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO EROSION, WHERE THE SEASON AND OTHER CONDITIONS MAY NOT BE SUITABLE FOR GROWING AN EROSION-RESISTANT COVER OR WHERE STABILIZATION IS NEEDED FOR A SHORT PERIOD UNTIL MORE SUITABLE PROTECTION CAN BE APPLIED.

METHODS AND MATERIALS

- I. SITE PREPARATION

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.

- B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.

- II. PROTECTIVE MATERIALS

- A. UNROOTED SMALL-GRASS STRAW, AT 2.0 TO 2.5 TONS PER ACRE, IS SPREAD UNIFORMLY AT 80 TO 115 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH, OR NETTING THE DOWN OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT. THE APPROVED RATES ABOVE HAVE BEEN MET WITH THE MULCH COVERED THE GROUND, COMPLETELY UPON VISUAL INSPECTION, I.E. THE SOIL CANNOT BE SEEN BELOW THE MULCH.

- B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.

- C. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY

PRT30Y/D10

RAB



This ultra high efficiency LED garage light delivers up to 118 lumens per Watt. Available in 30, 42 and 55 Watt versions that replace 70 to 175 Watt metal halide fixtures. Fixture measures 14" L x 14" W.

Color: Bronze Weight: 10.6 lbs

Project:	Type:
Prepared By:	Date:

Driver Info		LED Info	
Type	Constant Current	Watts	30W
120V	0.25A	Color Temp	3000K (Warm)
208V	0.13A	Color Accuracy	74 CRI
240V	0.12A	L70 Lifespan	100,000 Hours
277V	0.11A	Lumens	3,713
Input Watts	29.5W	Efficacy	123.9 lm/W

Technical Specifications

Compliance

UL Listed:

Suitable for wet locations

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. DLC Product Code: PRT7WVH1

Construction

Lens:

Frosted polycarbonate

Gaskets:

High-temperature silicone

IP Rating:

Ingress protection rating of IP66 for dust and water

Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Finish:

Formulated for high durability and long-lasting color

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Thermal Management:

Superior thermal management with external "Air-Flow" fins

Housing:

Die-cast aluminum and sheetmetal housing. Polycarbonate is affected by cleaning agents or other liquids containing partial solvents such as low molecular weight aldehydes and ethers, ketones, esters, aromatic hydrocarbons and perchlorinated hydrocarbons. Click here for a detailed list of damaging chemicals.

Mounting:

Die-cast aluminum backbox with (4) 1/2" conduit openings with plugs. Hinged tether for easy installation and wiring. Also accommodates 1/2" or 3/4" IPS pendants (provided by others).

Reflector:

Spectacular polycarbonate

Green Technology:

Mercury and UV free. RoHS-compliant components.

PRT30Y/D10

RAB

Technical Specifications (continued)

LED Characteristics

LEDs:

Long-life, high-efficacy, surface-mount LEDs

Color Consistency:

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Other

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Equivalency:

Equivalent to 100W Metal Halide

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Electrical

Drivers:

Constant Current, Class 2 100V - 277V, 50/60 Hz, THD <20%.

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

THD:

7.4% at 120V, 17.1% at 277V

Power Factor:

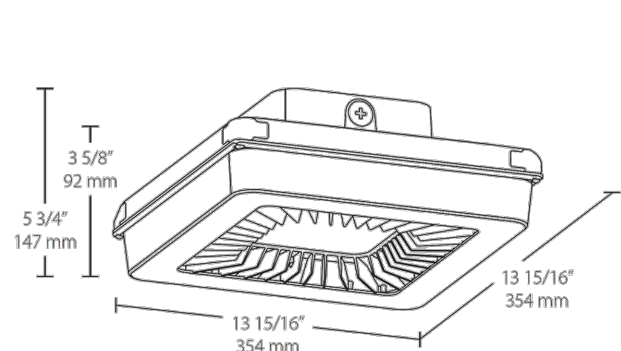
99.2% at 120V, 90.9% at 277V

Sensor Specifications

Handheld Wireless Configuration Tool:

Adjust settings using handheld wireless configuration tool. Only available with 0-10V dimming driver options. Handheld wireless configuration tool available here.

Dimensions



Features

Ultra-high efficiency
Pendant or surface mount
Low glare, vandal-resistant polycarbonate lens
20% uplight eliminates "cave effect"
100,000-Hour LED lifespan
5-Year, No-Compromise Warranty

PRT30Y/D10

RAB

Ordering Matrix

Family	Wattage	Color Temp	Finish	Driver Options	Sensor Options	Other Options
PRT	30	Y		/D10		
	30 = 30W (14" x 14")	Blank = 5000K (Cool)	Blank = 120-277V On/Off	Blank = No Option	USA = BAA Compliant	
	42 = 42W (14" x 14")	N = 4000K (Neutral)	A80 = 480V On/Off	/WS = Multi-Level Motion Sensor for 14"	Blank = Standard	
	55 = 55W (14" x 14")	Y = 3000K (Warm)	/D10 = 120-277V w/ 0-10V Dimming	/WS2 = Multi-Level Motion Sensor for 18"		
	70 = 70W (18" x 18")		/A80/D10 = 480V w/ 0-10V Dimming	/PCS = 120V Swivel Photocell		
	80 = 80W (18" x 18")		/E2 = Battery Backup	/PCS2 = 277V Swivel Photocell		
	105 = 105W (18" x 18")		/D10/E2 = 0-10V Dimming w/ Battery Backup	/PCS4 = 480V Swivel Photocell		
				/LCS = Lightcloud® Controller		
				/LCS = Lightcloud® Sensor		

* Only available for 120-277V with 0-10V dimming driver.

Need help? Tech help line: (888) 722-1000 Email: custserv@rablighting.com Website: www.rablighting.com
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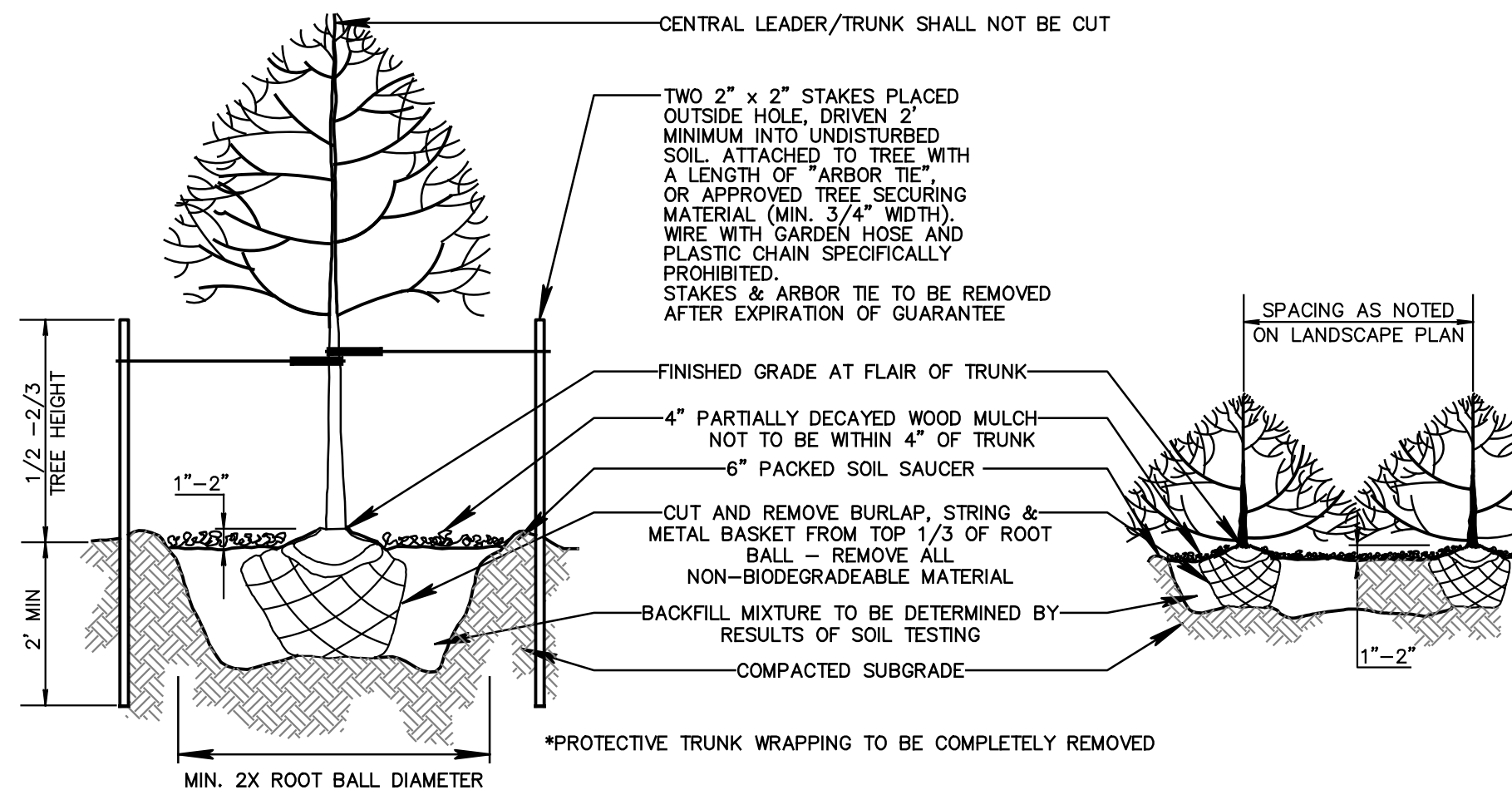
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CARPORT CANOPY LED LIGHTING SPECIFICATIONS

NOT TO SCALE

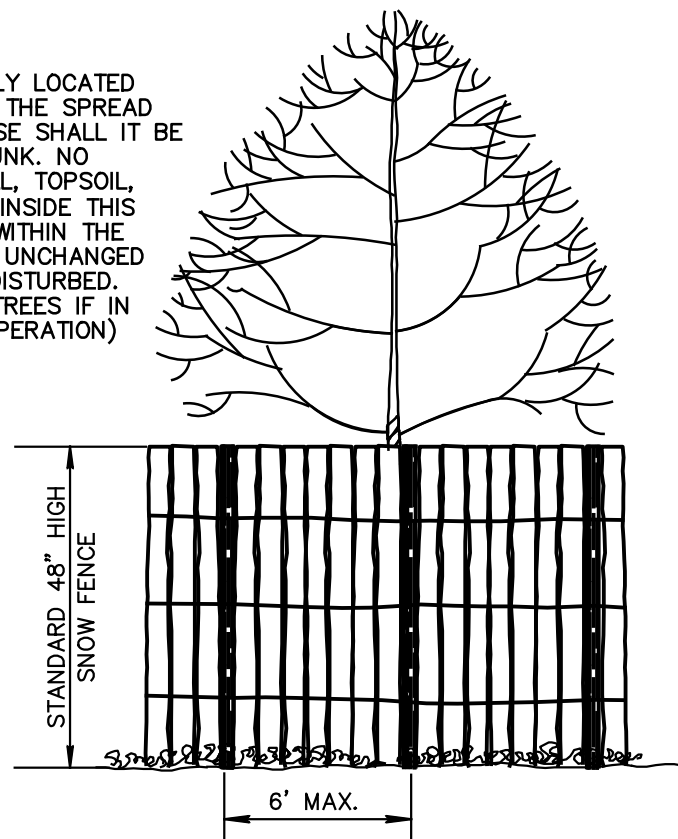


TREE & SHRUB PLANTING & STAKING

NOT TO SCALE

NOTE :

SNOW FENCE SHALL BE IDEALLY LOCATED AT THE OUTER PERIMETER OF THE SPREAD OF THE BRANCHES. IN NO CASE SHALL IT BE CLOSER THAN 10' TO THE TRUNK. NO CONSTRUCTION MATERIALS, FILL, TOPSOIL, SOIL, ETC. SHALL BE STORED INSIDE THIS FENCE. EXISTING ELEVATIONS WITHIN THE FENCING AREA SHALL REMAIN UNCHANGED AND SOIL SHALL BE LEFT UNDISTURBED. (TO BE USED FOR SPECIMEN TREES IF IN THE VICINITY OF CLEARING OPERATION)



TREE PROTECTION

NOT TO SCALE

OWNER:
LOT 4 (FORMERLY 4, 4.01, 5, & 6.01)
ATLANTIC HEALTH SYSTEM, INC.
651 WILLOW GROVE ST.
HACKETTSTOWN, NJ 07840
PHONE (908) 852-3130

APPLICANT:
ABOVE GRID SOLAR CARPORT 2020 LLC
516 ROUTE 33 W, BUILDING 2, SUITE 101
MILLSTONE, NJ 08535
PHONE (908) 852-3130

PARTNER
Engineering and Science, Inc.
(a DBA of Partner Assessment Corp, a NJ Engineering firm)

WILLIAM McCOLLUM, L.L.A.
NJ LICENSED LANDSCAPE ARCHITECT Lic. No. 21AS00105800

611 Industrial Way West
Easton, NJ 07724
NJ Certificate of Authorization No. 24GA28222900

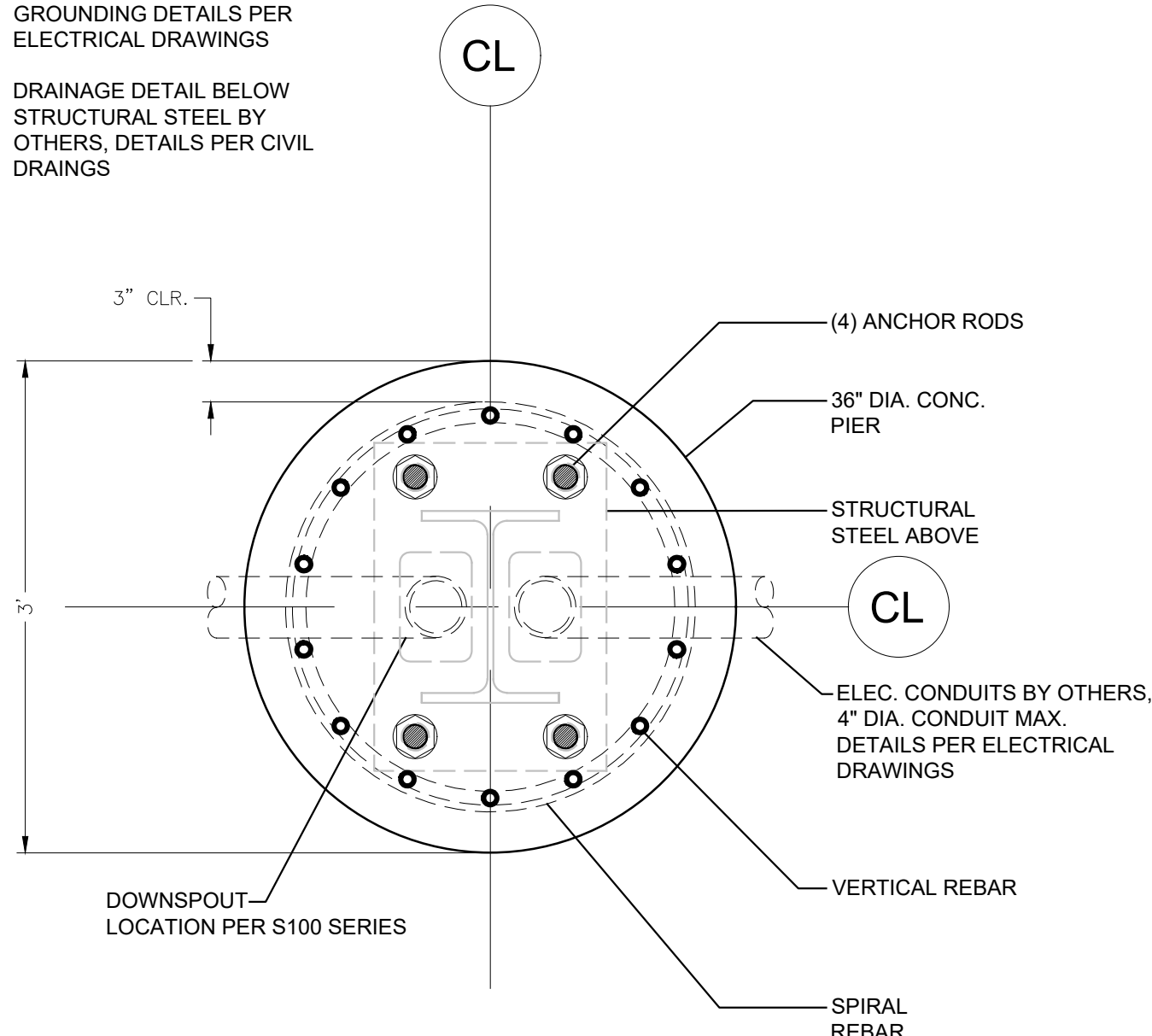
Tel.: 732.380.1700
Fax.: 732.380.1701
WWW.PARTNERESI.COM

Date	Scale:(H)	Drawn	Designed	Checked	Released
07/27/2021	(V)	MS	WM	JS	JS

NO.	DATE	REVISION	DRAWN	CHKD	REL'D
LANDSCAPE AND LIGHTING DETAILS					
MAJOR SITE PLAN					
SOLAR CARPORTS FOR HACKETTSTOWN MEDICAL CENTER					
TOWN OF HACKETTSTOWN					
BLOCK 45, LOT 4					
SITUATED IN					
TOWN OF HACKETTSTOWN, WARREN COUNTY, NEW JERSEY					
Job No.	Drawer Number	Drawing Name:	9 OF 10		
008 - 20-006	000-000	08-DETAILS.dwg			

NOTES:
ELEC. CONDUITS, TRENCH,
GROUNDING DETAILS PER
ELECTRICAL DRAWINGS

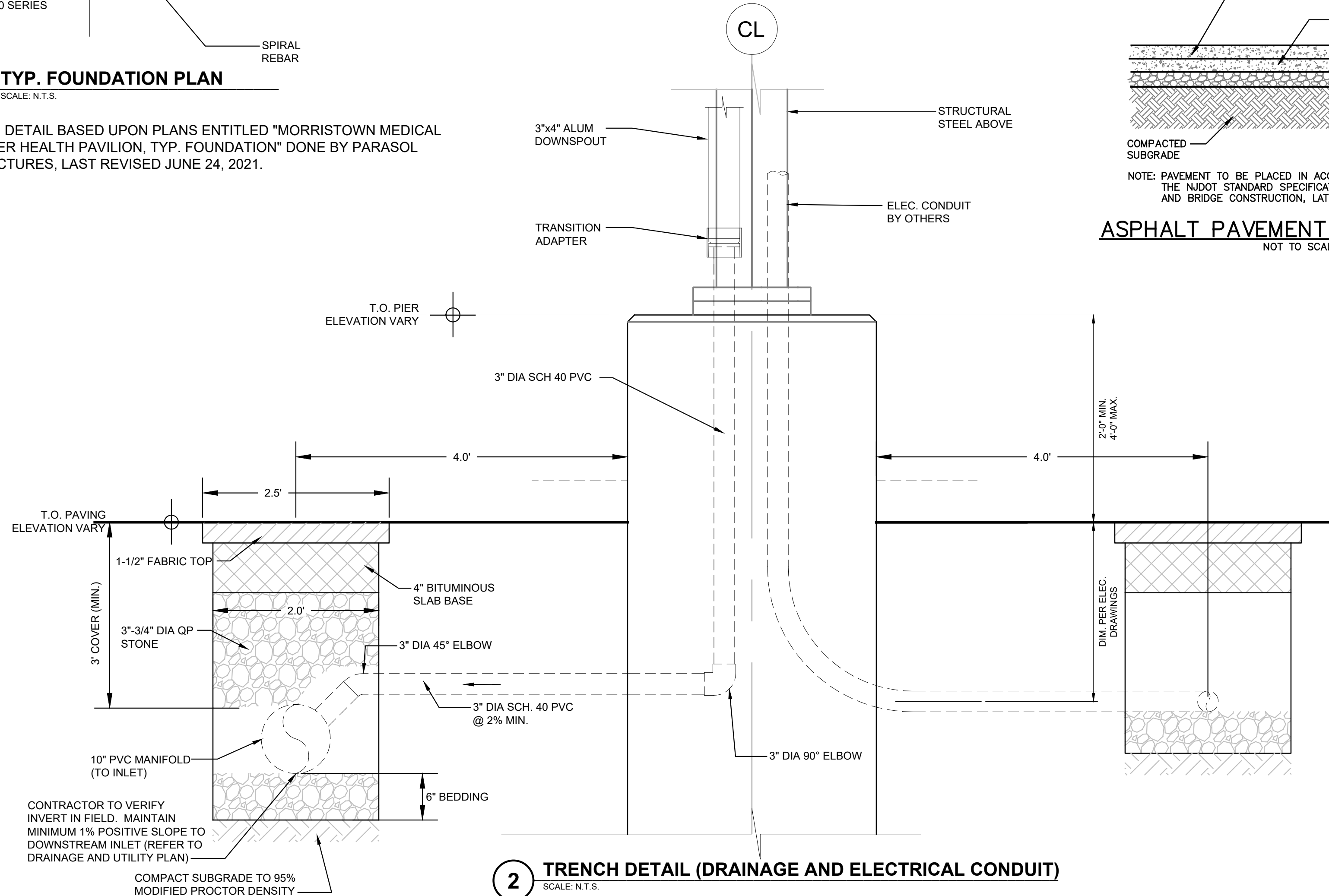
DRAINAGE DETAIL BELOW
STRUCTURAL STEEL BY
OTHERS, DETAILS PER CIVIL
DRAWINGS



1 TYP. FOUNDATION PLAN

SCALE: N.T.S.

NOTE: DETAIL BASED UPON PLANS ENTITLED "MORRISTOWN MEDICAL
CENTER HEALTH PAVILION, TYP. FOUNDATION" DONE BY PARASOL
STRUCTURES, LAST REVISED JUNE 24, 2021.



2 TRENCH DETAIL (DRAINAGE AND ELECTRICAL CONDUIT)

SCALE: N.T.S.

NOTE: DETAIL BASED UPON PLANS ENTITLED "MORRISTOWN MEDICAL
CENTER HEALTH PAVILION, TYP. FOUNDATION" DONE BY PARASOL
STRUCTURES, LAST REVISED JUNE 24, 2021.

PowerCharge Energy Commercial Series

The PowerCharge Energy Series is designed to be the ultimate electric vehicle charging solution. An attractive, powerful and durable level 2 charger, the PowerCharge Energy Series features...

- ✓ A slim and durable design that is outdoor rated* with multiple mounting configurations. The Energy Series has a small footprint, whether wall or pedestal mounted.
- ✓ At up to 8x faster than a standard 110v plug, the Energy Series safely delivers up to 25 miles of driving range for every hour of charge time.
- ✓ With our adjustable power output, you can have the ideal power to match your supply panel, electric vehicle and driving range.
- ✓ Will charge all plug-in vehicles sold in the US and Canada.
- ✓ We back up our Energy Series with a 3-year warranty.
- ✓ The charger is UL-listed and meets safety criteria for use throughout North America.
- ✓ Our OCPP Protocol allows for software options to fit your needs and budget.



PowerCharge
7464 W. Henrietta Road | Rush, NY 14543 | 585.533.4085 | PowerChargeEV.com

Multiple Configurations



Available in multiple configurations (single-port, wall or pedestal, dual-port pedestal, quad-port pedestal, cable retraction)

Models

Energy Open Access

Open access version, common for residential and fleet use.

- Powerful level 2 with 7.6kW output, adjustable to 5.8kW or 3.8kW
- 25' cable standard
- Easy plug-in installation or
- Hardwire for outdoor install
- 3-year warranty, 5-year optional
- UL & cUL safety certified
- Slim, attractive design
- All-weather durability

Platinum RFID Access Control

Our Platinum station is available as a non-networked charger with RFID access control.

- Control access without recurring network fees
- Simply issue an RFID card or key fob to authorized users

Platinum Networked

The Platinum version is network capable, which, when connected to a software plan provides a full suite of features.

- Point of sale payment
- Access control options
- Usage data collection and reporting online for easy management and fleet tracking
- Open Charge Point Protocol (OCPP) Compliant
- LAN and Cellular communication
- Gateway or non-gateway configuration available

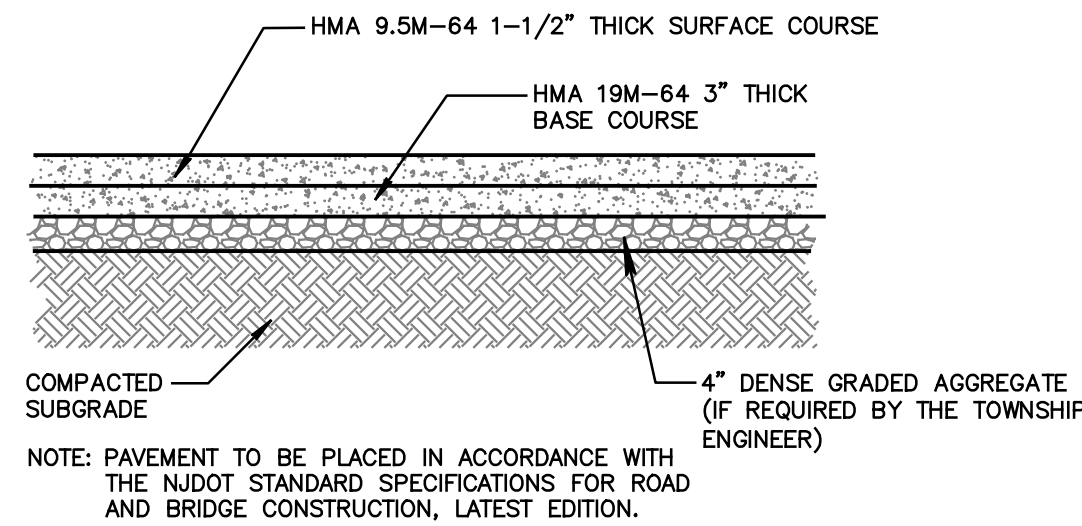
PowerCharge
7464 W. Henrietta Road | Rush, NY 14543 | 585.533.4085 | PowerChargeEV.com

Technical Specifications

Item	E20-XXE	E20-XXP	E20-XXP-G
Application	Commercial	Commercial	Commercial
Voltage (Vdc)	N/A	208/240VAC, Single Phase	N/A
Frequency (Hz)	N/A	60 Hz	N/A
Current (Rms)	N/A	Adjustable 16A/24A/32A	(3.8kW/5.8kW/7.6kW)
Circuit Breaker	N/A	16A-20A/24A-32A/32A-40A	N/A
Charging Connector	N/A	SAE J1772	N/A
Charging Cable Length	N/A	25 ft.	N/A
Metering Accuracy	N/A	N/A	Embedded ± 3%
Real Time Clock	N/A	N/A	Yes (7 day)
Wi-Fi	N/A	N/A	802.11 b/g/n
Cellular	N/A	N/A	LTE Cat. 1 (Verizon)
RFID	N/A	N/A	ISO 14443 A/B, ISO 15693, NFC, NEMA interoperability protocol
Display	Color LED Status Lights	116L/19.5W/370rpm, 5.87mm CHARACTER HEIGHT, 9*8 DOT MATRIX, OLED 20x2	N/A
Data Protocol	N/A	N/A	OCPP 1.6
Operation Temp.	N/A	-30C/-22F to 50C/122F	N/A
Storage Temp.	N/A	-40C/-40F to 70C/158F	N/A
Mounting Type	N/A	Wall mount / Pedestal mount	N/A
Wiring Type	N/A	Hard-wired	Hard-wired
IP Performance	N/A	N/A	NEMA 4
Impact Resistance	N/A	N/A	IK10
Dimension (HxWxD, in inches)	N/A	11.14" x 7.56" x 3.11"	Yes
Web Portal Management	N/A	N/A	Yes
Console Management	N/A	N/A	Yes
Certification	N/A	N/A	UL 50/991/1449/1598/2231/2594 FCC Part 15B FCC Part 15.225 (RFID 13.56MHz) FCC Part 15.247 (WLAN 2.4GHz) FCC Part 27 (AT&T) or FCC Part 27 (Verizon)
Pedestal Dimensions	N/A	Post: 6" x 6" x 60"	Base: 12" x 12"
Pedestal Construction	N/A	Aluminum, Grey Powder Coat Finish, Stainless Steel Hardware	N/A

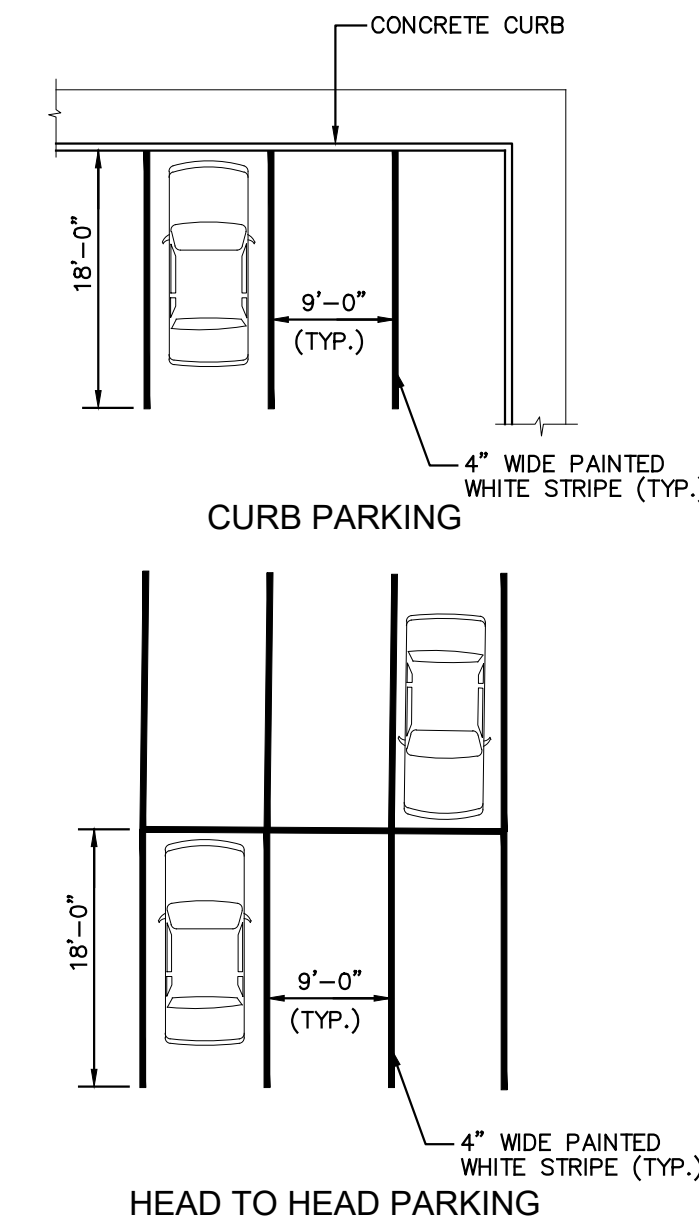
PowerCharge
7464 W. Henrietta Road | Rush, NY 14543 | 585.533.4085 | PowerChargeEV.com

EV ELECTRIC CHARGER (LEVEL 2) SPECIFICATIONS



ASPHALT PAVEMENT REPAIR DETAIL

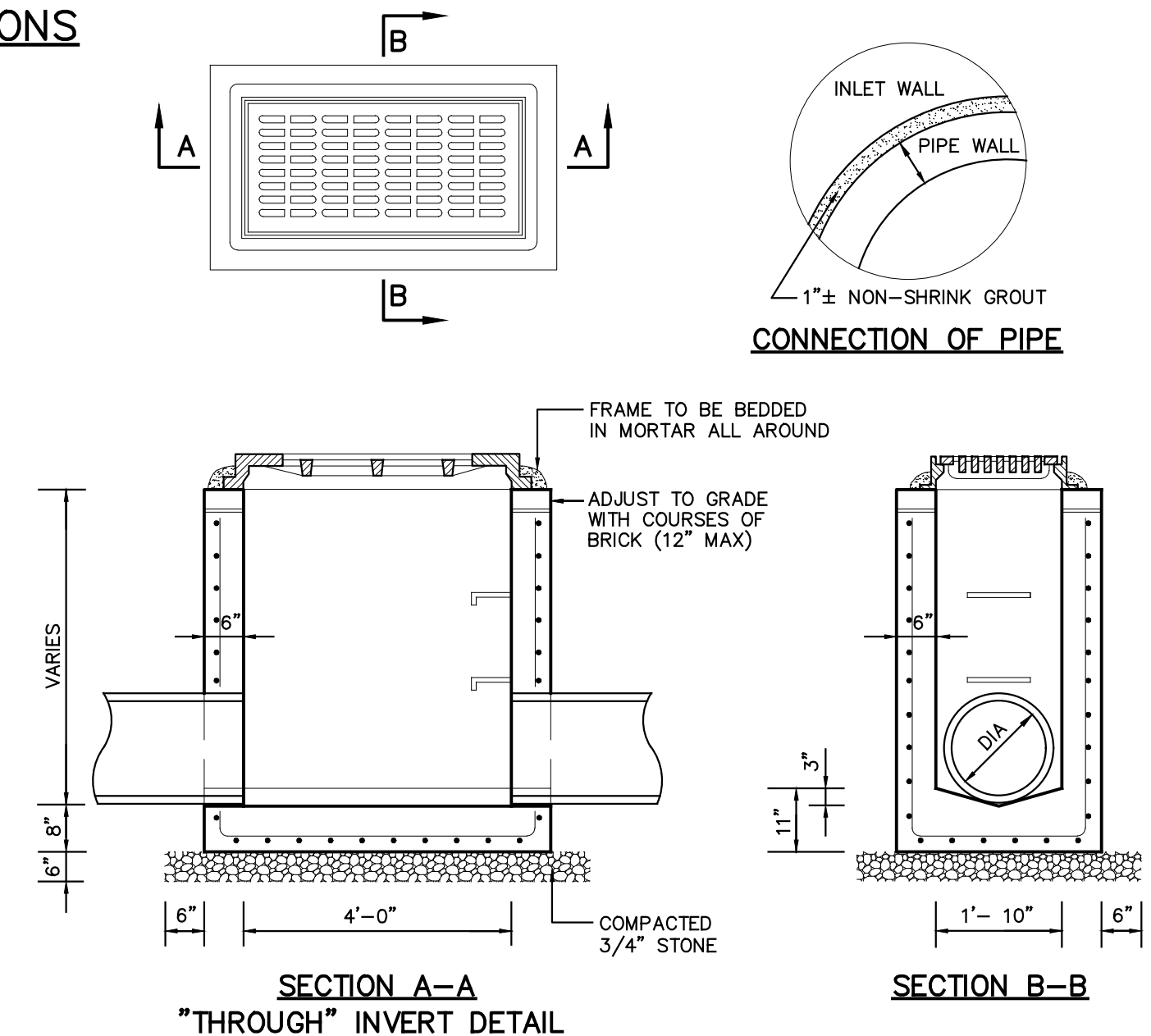
NOT TO SCALE



- NOTES:
1. ALL STALLS SHALL BE 9'-0"x18'-0"
 2. PROPOSED STRIPING SHALL BE WHITE IN COLOR.

PARKING STRIPING LAYOUT

NOT TO SCALE



STORM SEWER CONNECTION TO EXISTING INLET/MANHOLE DETAIL

NOT TO SCALE

OWNER:
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PARTNER
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Fax.: 732.380.1701
WWW.PARTNERESI.COM

Date 07/27/2021	Scale:(H) (V)	Drawn MS	Designed JS	Checked PS	Released JS
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NO.	DATE	REVISION	DRAWN	CHKD	REL'D

**CONSTRUCTION DETAILS
MAJOR SITE PLAN
SOLAR CARPORTS FOR HACKETTSTOWN MEDICAL CENTER
TOWN OF HACKETTSTOWN
BLOCK 45, LOT 4**

SITUATED IN
TOWN OF HACKETTSTOWN, WARREN COUNTY, NEW JERSEY

Job No. 005-20-006	Drawer Number 000-000	Drawing Name: 08-DETAILS.dwg	10 OF 10
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