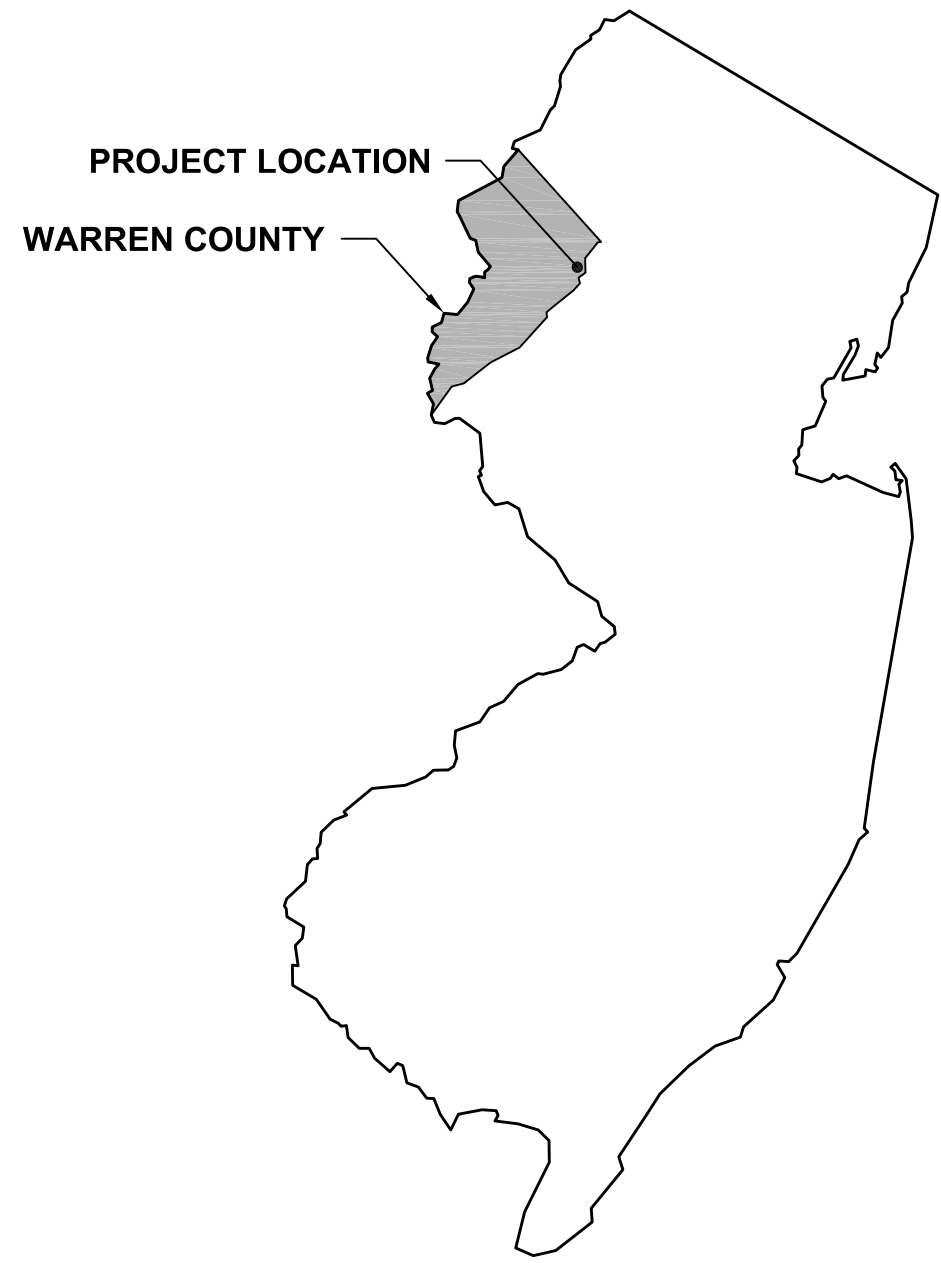


E:\SCE\Hackettstown\8719 Hackettstown\8719.074 Final Site Plan Trailer Storage Lot\Sheets\8719.074 01 Cover.dwg Thu, Mar 28, 2019 - 5:09pm rkomura SUBURBAN CONSULTING ENGINEERS, INC.



STATE OF NEW JERSEY

INDEX OF DRAWINGS

SHEET	TITLE	REVISION
1	COVER SHEET	-
2	LEGEND, GENERAL NOTES AND ZONING	-
3	OVERALL ZONING MAP	-
4	EXISTING CONDITIONS AND DEMOLITION PLAN	-
5	SITE LAYOUT PLAN	-
6	SITE GRADING PLAN	-
7	SITE UTILITY PLAN	-
8	LANDSCAPE AND LIGHTING PLAN	-
9	SOIL EROSION AND SEDIMENT CONTROL PLAN	-
10	SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS	-
11	CONSTRUCTION DETAILS I	-
12	CONSTRUCTION DETAILS II	-
13	CONSTRUCTION DETAILS III	-
14	CONSTRUCTION DETAILS IV	-

UTILITIES LIST

GPU ENERGY
300 MADISON AVENUE
MORRISTOWN, NJ 07962

ELIZABETHTOWN GAS CO.
RD 2, BOX 373
EDISON ROAD
STEWARTSVILLE, NJ 08886

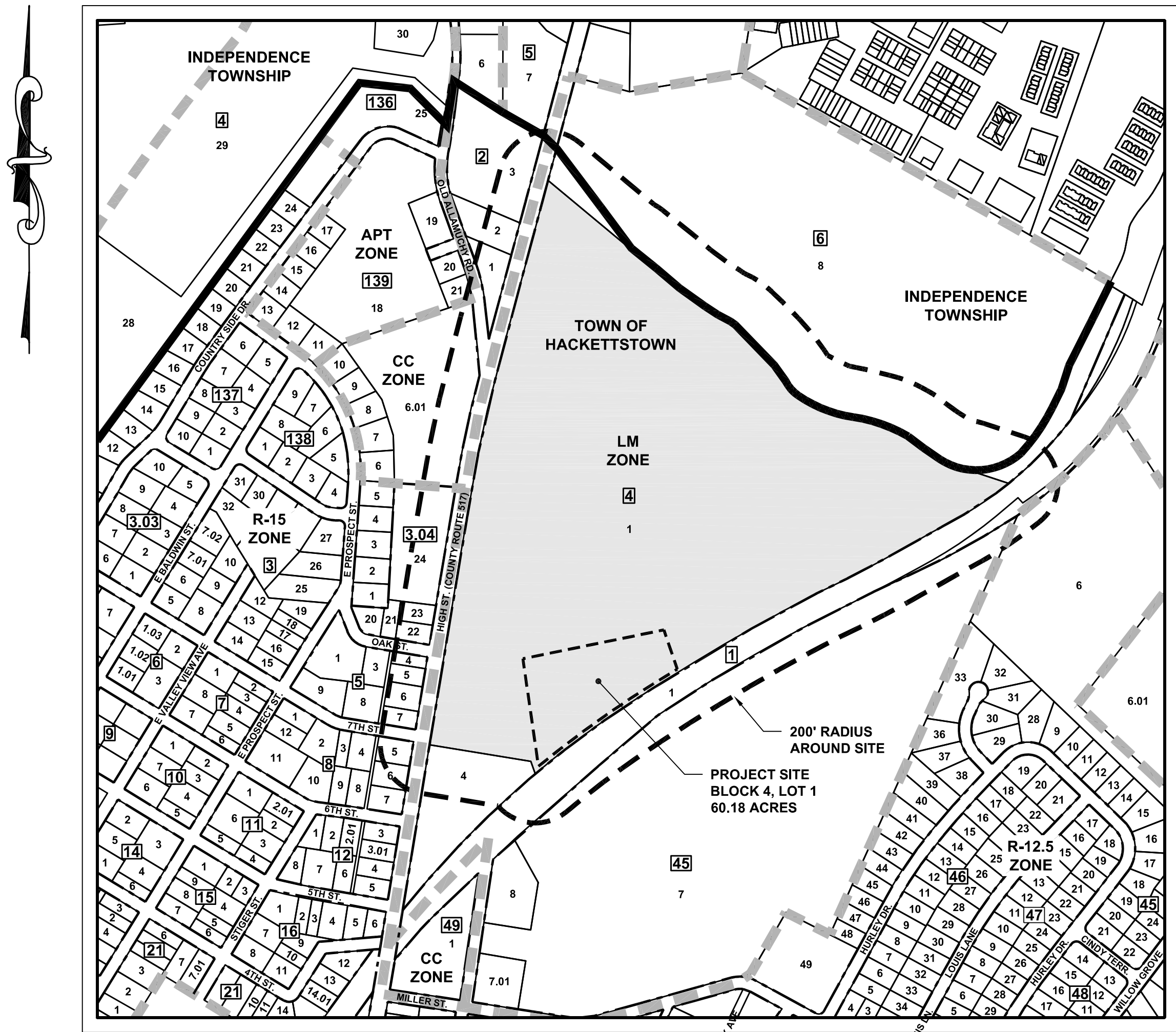
HACKETTSTOWN MUNICIPAL UTILITY AUTHORITY
P.O. BOX 450
HURLEY DRIVE
HACKETTSTOWN, NJ 07840

COMCAST CABLEVISION
155 PORT MURRAY ROAD
PORT MURRAY, NJ 07865

VERIZON-NJ, INC.
900 CLINTON AVENUE
FLOOR 2
IRVINGTON, NJ 07111
ATTN: MIKE DEDIO

NOTE:
PRIOR TO ANY EXCAVATION, CONTRACTOR MUST HAVE ALL UTILITIES MARKED OUT
BY THE APPROPRIATE UTILITY COMPANIES -> 811

PRELIMINARY AND FINAL MAJOR SITE PLAN FOR
MARS INCORPORATED
PROPOSED TRAILER PARKING LOT
BLOCK 4, LOT 1
TOWN OF HACKETTSTOWN
COUNTY OF WARREN, STATE OF NEW JERSEY



SOURCES: CURRENT TAX MAP OF THE TOWN OF HACKETTSTOWN SHEET 9.
WARREN COUNTY GIS DEPARTMENT.
HACKETTSTOWN ZONING MAP, LAST REVISED APRIL 2007.

KEY MAP AND ZONING



SCALE: 1" = 400'

HACKETTSTOWN ZONING DISTRICTS

R-30 SINGLE-FAMILY RESIDENTIAL (30,000 SF)
R-15 SINGLE-FAMILY RESIDENTIAL (15,000 SF)
R-12.5 SINGLE-FAMILY RESIDENTIAL (12,500 SF)
APT APARTMENTS (10 DU/AC)
CC COMMUNITY COMMERCIAL
LM LIMITED MANUFACTURING

LEGEND

LOT BOUNDARY
200' RADIUS AROUND SITE
ZONE BOUNDARY
BLOCK BOUNDARY
TOWN BOUNDARY

DAREN J. PHIL, PE
NJ PROFESSIONAL ENGINEER
LICENSE NO. 24GE03619100



DATE: 03/28/2019

PROJECT DIRECTORY

OWNER / APPLICANT

MARS INCORPORATED
700 HIGH STREET
HACKETTSTOWN, NJ 07840
908-852-1000

OWNER / APPLICANT SIGNATURE

SITE ENGINEERING

SUBURBAN CONSULTING ENGINEERS
96 US HIGHWAY 206, SUITE 101
FLANDERS, NJ 07836
973-398-1776

LAND USE BOARD SECRETARY

DATE

LAND USE BOARD CHAIRPERSON

DATE

TOWNSHIP ENGINEER

DATE

PRELIMINARY AND FINAL MAJOR SITE PLAN FOR
MARS INCORPORATED
PROPOSED TRAILER PARKING LOT
BLOCK 4, LOT 1
TOWN OF HACKETTSTOWN
COUNTY OF WARREN, STATE OF NEW JERSEY

COVER SHEET



PROJECT NUMBER: SCE-8719.074 SHEET 1 OF 14

REVISION -

LEGEND

EXISTING	PROPOSED	
		WATER MAIN (SIZES)
		GAS MAIN (SIZES)
		UNDERGROUND TELEPHONE LINE
		OVERHEAD TELEPHONE WIRE
		UNDERGROUND ELECTRICAL CONDUIT
		OVERHEAD ELECTRICAL LINE
		UNDERGROUND COMBINED UTILITIES
		STORM DRAINS
		SANITARY SEWERS
		FORCE MAINS
		PAVEMENT
		PROPERTY LINES
		CURB LINES
		FENCES (MTL.)
		GUIDE RAIL (STL.)
		RETAINING WALL

EXIST.	RESET	RECONSTRUCT	PROP.	
				"A" INLETS
				"B" INLETS
				"E" INLETS
				MANHOLES
				NEW MANHOLE CASTING - SQUARE FRAME, CIRCULAR COVER
				CAST IRON EXTENSION FRAME FOR EXIST. INLETS
				CAST IRON EXTENSION RING FOR EXIST. MANHOLES

EXIST.	PROPOSED	
		RADIAL PINS
		MONUMENTS
		IRON PIPE/PIN
		TEST PIT / SOIL BORING
		WATER VALVE
		WATER GATE VALVE
		GAS VALVE
		HYDRANT
		UTILITY POLES
		SIGNS
		BUSHES/TREELINE
		LIGHTS
		EX. BLDG.
		BLDG. TO BE DEMOLISHED
		DECIDUOUS TREES
		CONIFEROUS TREES

GENERAL NOTES

- APPLICANT: MARS INCORPORATED
700 HIGH STREET
HACKETTSTOWN, NJ 07840
- THE SUBJECT PROPERTY KNOWN AS LOT 1, BLOCK 4 AS SHOWN ON THE TOWN OF HACKETTSTOWN TAX MAP SHEET 9.
 - THE SUBJECT APPLICATION IS SEEKING APPROVAL FOR THE CONSTRUCTION OF A PROPOSED TRAILER PARKING LOT LOCATED WITHIN THE SAME PROJECT AREA AS THE ORIGINAL ON-SITE WASTEWATER TREATMENT FACILITY. THE WASTEWATER TREATMENT FACILITY WAS TO BE PARTIALLY DEMOLISHED AS PART OF THE APPROVAL OF THE NEWLY CONSTRUCTED AND OPERATING WASTEWATER TREATMENT FACILITY (LOCATED AT THE EASTERN PORTION OF THE SITE). DUE TO AN OPERATING CONDITION AT THE NEW FACILITY, TWO (2) EXISTING CLARIFIER TANKS AND ONE (1) EXISTING REACTOR TANK FROM THE PREVIOUS FACILITY WILL TEMPORARILY REMAIN. THESE TANKS WILL REMAIN IN OPERATION DURING THE CONSTRUCTION AND OPERATION OF THE TRAILER PARKING LOT. AT THE TIME THAT THE TWO (2) CLARIFIER TANKS AND ONE (1) REACTOR TANK CAN BE DEMOLISHED, THESE AREAS WILL BE REPAVED, STRIPED, AND UTILIZED FOR ADDITIONAL TRAILER PARKING.
 - MARS INCORPORATED CURRENTLY PARKS TRAILERS THROUGHOUT THEIR SITE IN VARIOUS LOCATIONS, MAKING THE SUBJECT APPLICATION NECESSARY FOR MORE EFFICIENT OPERATIONS AT THE FACTORY. THE MAJORITY OF THE PARKED TRAILERS WILL BE EMPTY; SOME TRAILERS WILL CONTAIN FINISHED PRODUCT FOR A SHORT PERIOD OF TIME BEFORE BEING SHIPPED. TRAFFIC WILL BE REDUCED BY STORING TRAILERS ONSITE.
 - EXISTING UTILITIES TO BE REMOVED SHALL BE TERMINATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN AND UTILITY AUTHORITIES. ALL PERMITS SHALL BE OBTAINED PRIOR TO DEMOLITION.
 - ALL LOCATIONS AND ELEVATIONS OF UTILITIES ARE SHOWN BASED ON THE BEST INFORMATION AVAILABLE BUT SHOULD BE CONSIDERED APPROXIMATE. CALL BEFORE YOU DIG MUST BE CONTACTED PRIOR TO THE START OF CONSTRUCTION AT 811.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF HACKETTSTOWN STANDARDS AND SPECIFICATIONS, AND ALL STRUCTURES ARE SUBJECT TO REVIEW BY THE CONSTRUCTION CODE OFFICIAL.
 - DUST CONTROL DURING CONSTRUCTION WILL BE PROVIDED BY THE UTILIZATION OF SPRAYED WATER AND STANDARD SOIL EROSION AND SEDIMENT CONTROL MEASURES REQUIRED BY THE WARREN COUNTY SOIL CONSERVATION DISTRICT AS REPRESENTED ON THESE PLANS AND AS REQUIRED PER THE WARREN COUNTY SOIL CONSERVATION DISTRICT REQUIREMENTS.
 - ALL TRAFFIC CONTROL MEASURES SHALL MEET THE REQUIREMENTS OF THE N.J.D.O.T. REGULATIONS AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" CURRENT EDITION.
 - CONSTRUCTION WORK HOURS MAY BE PERFORMED MONDAY THROUGH FRIDAY BETWEEN THE HOURS OF 8:00 AM AND 5:00 PM. THE ENGINEER MUST APPROVE EARLY STARTS AND WORK ON SATURDAYS, SUNDAYS AND HOLIDAYS. THE COST FOR INSPECTION SERVICES BY THE ENGINEER BEYOND NORMAL WORK DAYS AND HOURS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE LOCAL POLICE AGENCY(IES) OF THE PROJECT AND NORMAL OPERATING TIMES AND DAYS.
 - THE APPLICANT IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL MATERIAL IN ACCORDANCE WITH THE APPLICABLE GOVERNING REGULATIONS.
 - NO MATERIAL OR EQUIPMENT IS TO BE STORED ON ANY AREA THAT HAS NOT BEEN ESTABLISHED AS A DESIGNATED STAGING AREA. ALL EXCAVATIONS SHALL BE PROTECTED AT THE END OF EACH WORK DAY.
 - THE APPLICANT WILL HOLD A PRE-CONSTRUCTION MEETING WITH THE TOWN ENGINEER AND OTHER GOVERNING AGENCIES WHO WISH TO ATTEND.
 - APPLICANT WILL PROVIDE TOWN WITH ALL REQUIRED OUTSIDE AGENCY APPROVALS. THE FOLLOWING APPROVALS ARE ANTICIPATED:
 - WARREN COUNTY PLANNING BOARD
 - WARREN COUNTY SOIL CONSERVATION DISTRICT
 - HIGHLANDS APPLICABILITY DETERMINATION
 - NJDEP FHA VERIFICATION AND INDIVIDUAL PERMIT
 - DUE TO THE PRESENCE OF THE HACKETTSTOWN BROOK FLOOD HAZARD AREA (FHA) ON SITE, SUBMISSION OF A FHA VERIFICATION AND INDIVIDUAL PERMIT PACKAGE TO NJDEP IS REQUIRED.
 - THESE PLANS ARE FOR TOWN APPROVAL AND PLANNING PURPOSES ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.
 - THESE PLANS REFERENCE THE SURVEY ENTITLED, "BOUNDARY SURVEY PLAN" PREPARED BY BARRY ISETT & ASSOCIATES, DATED JANUARY 29, 2019.

ZONING SUMMARY

LAND USE AND DEVELOPMENT REGULATION	ALLOWABLE LM DISTRICT - REQ.	EXISTING* (INCLUDING PREVIOUSLY APPROVED APPLICATIONS)	MAJOR SITE PLAN APPLICATION (PROPOSED)	VARIANCE	WAIVER
PRINCIPAL PERMITTED USE	LIMITED MANUFACTURING	LIMITED MANUFACTURING: WASTEWATER TREATMENT FACILITY**	LIMITED MANUFACTURING	Yes	No
MIN. LOT AREA	3 ACRES (130,680 SF)	60.18 ACRES (2,621,421 SF)	NO CHANGE	No	No
MIN. LOT WIDTH	300'	2,200'	NO CHANGE	No	No
MIN. LOT DEPTH	300'	2,338'	NO CHANGE	No	No
MINIMUM PRINCIPAL BUILDING SETBACK					
MIN. FRONT YARD	50'	>50'	NO CHANGE	No	No
MIN. SIDE YARD (ONE SIDE)	50'	>50'	NO CHANGE	No	No
MIN. REAR YARD	50'	>50'	NO CHANGE	No	No
MINIMUM ACCESSORY BUILDING SETBACK					
DISTANCE TO SIDE LINE	25'	65.5'	NO CHANGE	No	No
DISTANCE TO REAR LINE	25'	510.5'	NO CHANGE	No	No
DISTANCE TO OTHER BUILDING	25'	52.5'	NO CHANGE	No	No
MAX. PRINCIPAL BUILDING HEIGHT	3 STORIES/45'	45'	NO CHANGE	No	No
MAX. ACCESSORY BUILDING HEIGHT	15'	19.5' PRETREATMENT (EN) 24.5' ANAEROBIC REACTOR (EN) 20.7' EQUALIZATION TANK (EN) 16.8' POST AERATION (EN) 25.5' FLARE STACK (EN)	7' Clarifier Tank 7' Clarifier Tank (V) 13.5' Surge Tank (V)	No	No
MAXIMUM LOT COVERAGE	75%	1,232,913 SF (47%)	1,277,344 (49%)	No	No
MAX. BLDG. (LOT) COVERAGE	30%	537,092 SF (20.5%)	532,965 (20.3%)	No	No

* EXISTING CONDITIONS WERE TAKEN FROM THE PLAN SET ENTITLED, "PRELIMINARY AND FINAL SITE PLAN FOR MARS CHOCOLATE NORTH AMERICA LLC WASTEWATER PRETREATMENT SYSTEM UPGRADES," PREPARED BY DYNAMIC ENGINEERING, AS APPROVED BY RESOLUTION #Z-14-05, APPROVED ON 11/18/2014 AND MEMORIALIZED ON 12/16/2014.
** VARIANCE RELIEF IS ANTICIPATED FOR THE THREE (3) TANKS TO REMAIN DUE TO CONDITIONS FROM RESOLUTION #Z-14-05 DICTATING THAT ALL THE TANKS AND STRUCTURES ARE TO BE REMOVED FROM THE CURRENT PROJECT AREA.

(V): VARIANCE REQUIRED
(EN): EXISTING NON-CONFORMITY

PARKING CALCULATION: NO HABITABLE FLOOR AREA IS PROPOSED, THEREFORE, THE SITE'S PARKING CALCULATION IS UNCHANGED.

OFF-STREET LOADING: NO LOADING OR UNLOADING IS TO OCCUR WITHIN THE PROJECT AREA.

SIGNAGE: NO SIGNS PROPOSED.

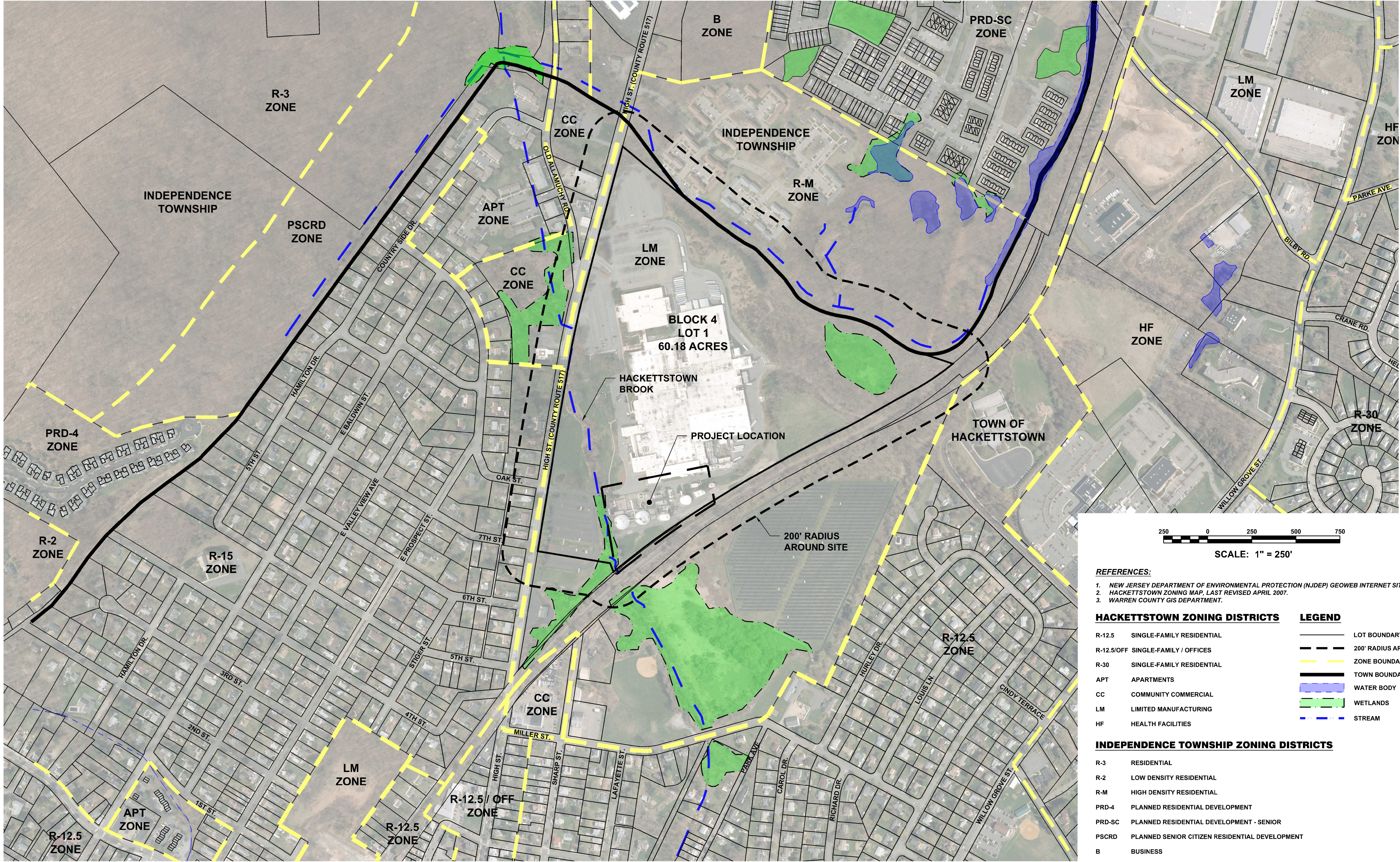
CERTIFIED PROPERTY OWNERS LIST WITHIN 200 FT.:

MUNICIPAL CERTIFIED LIST AS OF DECEMBER 5, 2018

BLOCK	LOT	PROPERTY OWNER	PROPERTY LOCATION	BLOCK	LOT	PROPERTY OWNER	PROPERTY LOCATION
2	1	FIVE INVESTORS INC C/O R/C INC 6 EMERY AVE SUITE 1 RANDOLPH, NJ 07869	901 HIGH STREET	5	6	HARTIGAN, BERNARD/DEWS, PATRICK 137 CASTERLINE ROAD DENVER, NJ 07834	705 HIGH STREET
2	2	APDJ LLC 160 EAST MAIN ST RAMSEY, NJ 07446	903 HIGH STREET	5	7	TAPP, JEFFREY F & DONNA M 701 HIGH ST HACKETTSTOWN, NJ 07840	701 HIGH STREET
2	3	C2 PROPERTIES LLC 905 HIGH STREET HACKETTSTOWN, NJ 07840	905 HIGH STREET	8	5	SZAWALUK, JEAN EST 609 HIGH STREET HACKETTSTOWN, NJ 07840	609 HIGH STREET
3.04	21	CAMPBELL, MARK & WENDY 105 OAK STREET HACKETTSTOWN, NJ 07840	105 OAK STREET	8	6	TESTA, R WINIFRED & ROBBIE N 90 ROSEVILLE RD BYRAM TWP., ANDOVER NJ 07821	605 HIGH STREET
3.04	22	JHANKHAR, SHANTILAL & PURSHPABEN 801 HIGH STREET HACKETTSTOWN, NJ 07840	801 HIGH STREET	8	7	SANTARELLI, VINCENT M JR & CHERYL A 801 HIGH STREET HACKETTSTOWN, NJ 07840	601 HIGH STREET
3.04	23	MACIAG, MARY BETH 805 HIGH STREET HACKETTSTOWN, NJ 07840	805 HIGH STREET	139	6.01	MAKORINC C/O WILF, JOSEPH & HARRY 820 MORRIS TURNPIKE S301 SHORT HILLS, NJ 07078	811 HIGH STREET
3.04	24	M&M MARS INC C/O RYAN LLC ONE PPG PLACE SUITE 2810 PITTSBURGH, PA 15222	807 HIGH STREET	139	20	WILLOW CO C/O S GELTMAN & CO 45 EISENHOWER DR STE 270 PARAMUS, NJ 07652	102 OLD ALLAMUCHY RD
4	4	MARS INC C/O HKP FINANCE MANGER ONE PPG PLACE SUITE 2810 PITTSBURGH, PA 15222	600 HIGH STREET	139	21	WILLOW CO C/O S GELTMAN & CO 45 EISENHOWER DR STE 270 PARAMUS, NJ 07652	900 OLD ALLAMUCHY RD
4	5	TOWPATH ASSOC C/O SALEM MGT CO 2029 MORRIS AVE POB 2175 UNION, NJ 07083	HIGH STREET				
5	4	BODINE, JR, ROBERT A 3 DEER PARK ROAD HACKETTSTOWN, NJ 07840	100 OAK STREET				
5	5	GOLDSMITH, C/CAMERON, J/ SOKOLOSKI 709 HIGH STREET HACKETTSTOWN, NJ 07840	709 HIGH STREET				

NOTICE THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED, OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SUBURBAN CONSULTING ENGINEERS, INC. PER N.J.A.C. ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL OR PAPER COPIES NOT CONTAINING A PASSES SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED. © COPYRIGHT 2018 SUBURBAN CONSULTING ENGINEERS, INC.™ CERTIFICATE OF AUTHORIZATION NO: 24GA28037500 ALL RIGHTS RESERVED	<div></div> <div></div> <div></div> <div></div> <div></div>	<div></div> <div></div> <div></div> <div></div> <div></div>	<div></div> <div></div> <div></div> <div></div> <div></div>	<div></div> <div></div> <div></div> <div></div> <div></div>	DRAWN BY: RHK 03/28/2019 CHECKED BY: EBA 03/28/2019 CHECKED BY:	DAREN J. PHIL, PE NJ PROFESSIONAL ENGINEER LICENSE NO. 24GE03619100 DATE: 03/28/2019	 SUBURBAN CONSULTING ENGINEERS, INC. COA NO.: 24GA28037500 21MH00004200 - Civil Engineers - Municipal Engineers - - Planners - Landscape Architects - - Planners - Environmentalists - Land Surveyors - 96 US Highway 206, Suite 101 2430 Highway 34, Bldg. A Suite 1R Flinders, NJ, 07836 - 973.398.1776 Wall, NJ, 08736 - 732.282.1776 EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT	PRELIMINARY AND FINAL MAJOR SITE PLAN FOR MARS INCORPORATED PROPOSED TRAILER PARKING LOT BLOCK 4, LOT 1 TOWN OF HACKETTSTOWN COUNTY OF WARREN, STATE OF NEW JERSEY	PROJECT NUMBER: SCE-8719.074
								SCALE: N.T.S.	
								SHEET <u>2</u> OF <u>14</u>	
								REVISION <u> </u>	

E:\SCE\Hackettstown\8719.074 Final Site Plan Trailer Storage Lot\Sheets\8719.074 03 Overall Zoning Map.dwg Thu, Mar 28, 2019 5:13pm rkumura SUBURBAN CONSULTING ENGINEERS, INC.



- REFERENCES:
1. NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION (NJDEP) GEOWEB INTERNET SITE.
 2. HACKETTSTOWN ZONING MAP, LAST REVISED APRIL 2007.
 3. WARREN COUNTY GIS DEPARTMENT.

HACKETTSTOWN ZONING DISTRICTS		LEGEND
R-12.5	SINGLE-FAMILY RESIDENTIAL	LOT BOUNDARY
R-12.5/OFF	SINGLE-FAMILY / OFFICES	200' RADIUS AROUND SITE
R-30	SINGLE-FAMILY RESIDENTIAL	ZONE BOUNDARY
APT	APARTMENTS	TOWN BOUNDARY
CC	COMMUNITY COMMERCIAL	WATER BODY
LM	LIMITED MANUFACTURING	WETLANDS
HF	HEALTH FACILITIES	STREAM

INDEPENDENCE TOWNSHIP ZONING DISTRICTS	
R-3	RESIDENTIAL
R-2	LOW DENSITY RESIDENTIAL
R-M	HIGH DENSITY RESIDENTIAL
PRD-4	PLANNED RESIDENTIAL DEVELOPMENT
PRD-SC	PLANNED RESIDENTIAL DEVELOPMENT - SENIOR
PSCRD	PLANNED SENIOR CITIZEN RESIDENTIAL DEVELOPMENT
B	BUSINESS

NOTICE
THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED.
THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED, OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SUBURBAN CONSULTING ENGINEERS, INC.
PER N.J.A.C. ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL OR PAPER COPIES NOT CONTAINING A RAISED SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED.
© COPYRIGHT 2018 SUBURBAN CONSULTING ENGINEERS, INC.™
CERTIFICATE OF AUTHORIZATION NO: 24GA28037500
ALL RIGHTS RESERVED

DESCRIPTION	NO.	DATE:	BY:	CHK:
REVISIONS				

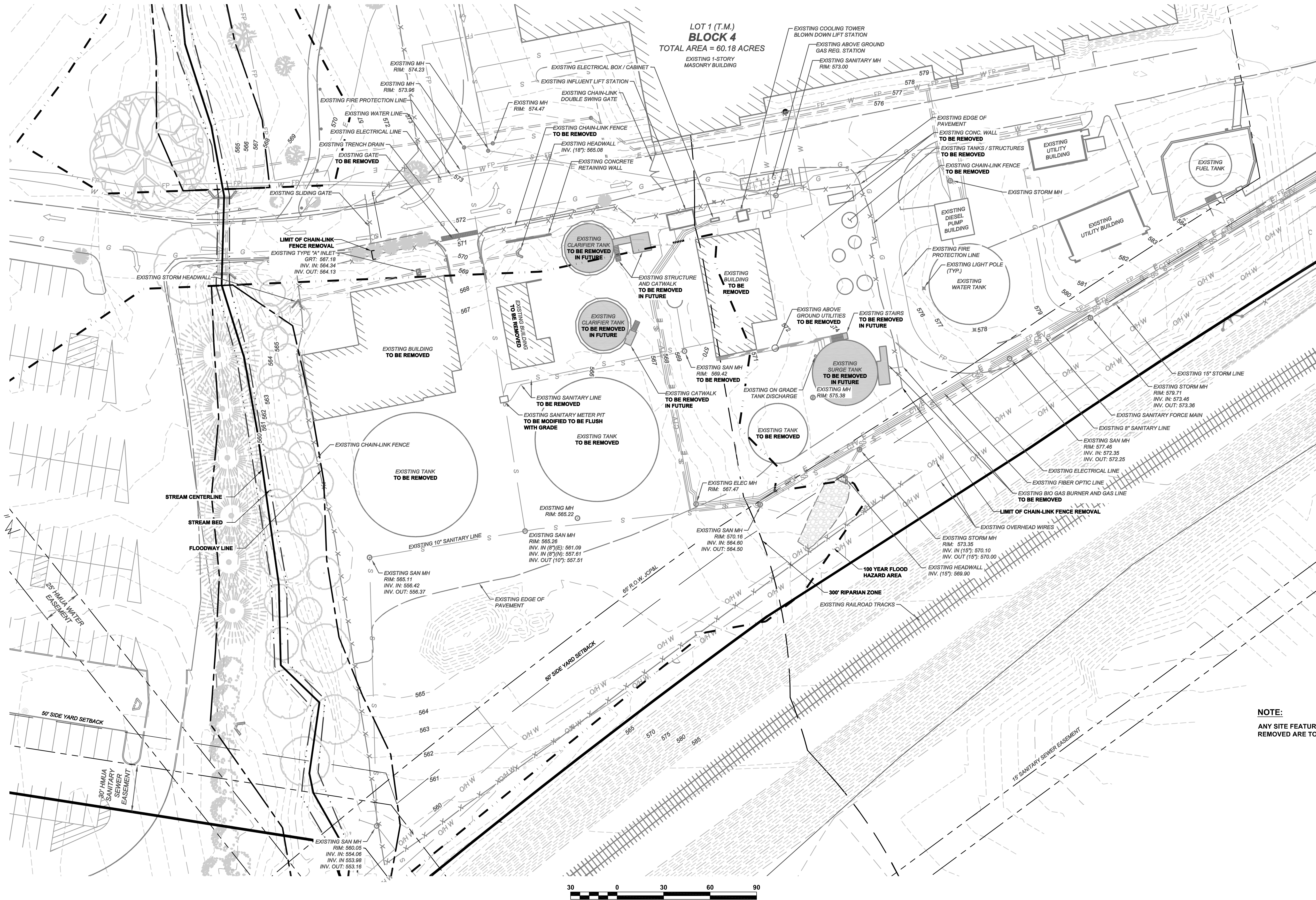
DRAWN BY:
RHK
03/28/2019
CHECKED BY:
EBA
03/28/2019
CHECKED BY:

DAREN J. PHIL, PE
NJ PROFESSIONAL ENGINEER
LICENSE NO. 24GE03619100
DATE: 03/28/2019

SUBURBAN CONSULTING ENGINEERS, INC.
COA NO: 24G128037500
21MH00004200
Civil Engineers - Municipal Engineers -
Landscape Architects -
Planners - Environmentalists - Land Surveyors -
96 US Highway 206, Suite 101 2330 Highway 34, Bldg. A Suite 1R
Flinders, N.J. 07836 - 973.398.1776 Wall, N.J. 08736 - 732.282.1776
EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT

PRELIMINARY AND FINAL MAJOR SITE PLAN FOR MARS INCORPORATED PROPOSED TRAILER PARKING LOT BLOCK 4, LOT 1 TOWN OF HACKETTSTOWN COUNTY OF WARREN, STATE OF NEW JERSEY		PROJECT NUMBER: SCE-8719.074
OVERALL ZONING MAP		SCALE: 1" = 250'
		SHEET 3 OF 14
		REVISION -

E:\SCE\Hackettstown\8719\074 Hackettstown\8719\074 Final Site Plan Trailer Storage Lot\Sheets\8719.074 04 Existing Conditions & Demolition Plan.dwg Thu, Mar 28, 2019 - 5:25pm rkomura SUBURBAN CONSULTING ENGINEERS, INC.



NOTE:
ANY SITE FEATURES NOT DENOTED TO BE REMOVED ARE TO REMAIN.



SCALE: 1" = 30'

NOTICE
THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED, OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SUBURBAN CONSULTING ENGINEERS, INC. PER N.J.A.C. ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL OR PAPER COPIES NOT CONTAINING A FASSED SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED.
© COPYRIGHT 2019 SUBURBAN CONSULTING ENGINEERS, INC.™
CERTIFICATE OF AUTHORIZATION NO: 24GA2803700
ALL RIGHTS RESERVED

DESCRIPTION	NO.	DATE:	BY:	CHK:
REVISIONS				

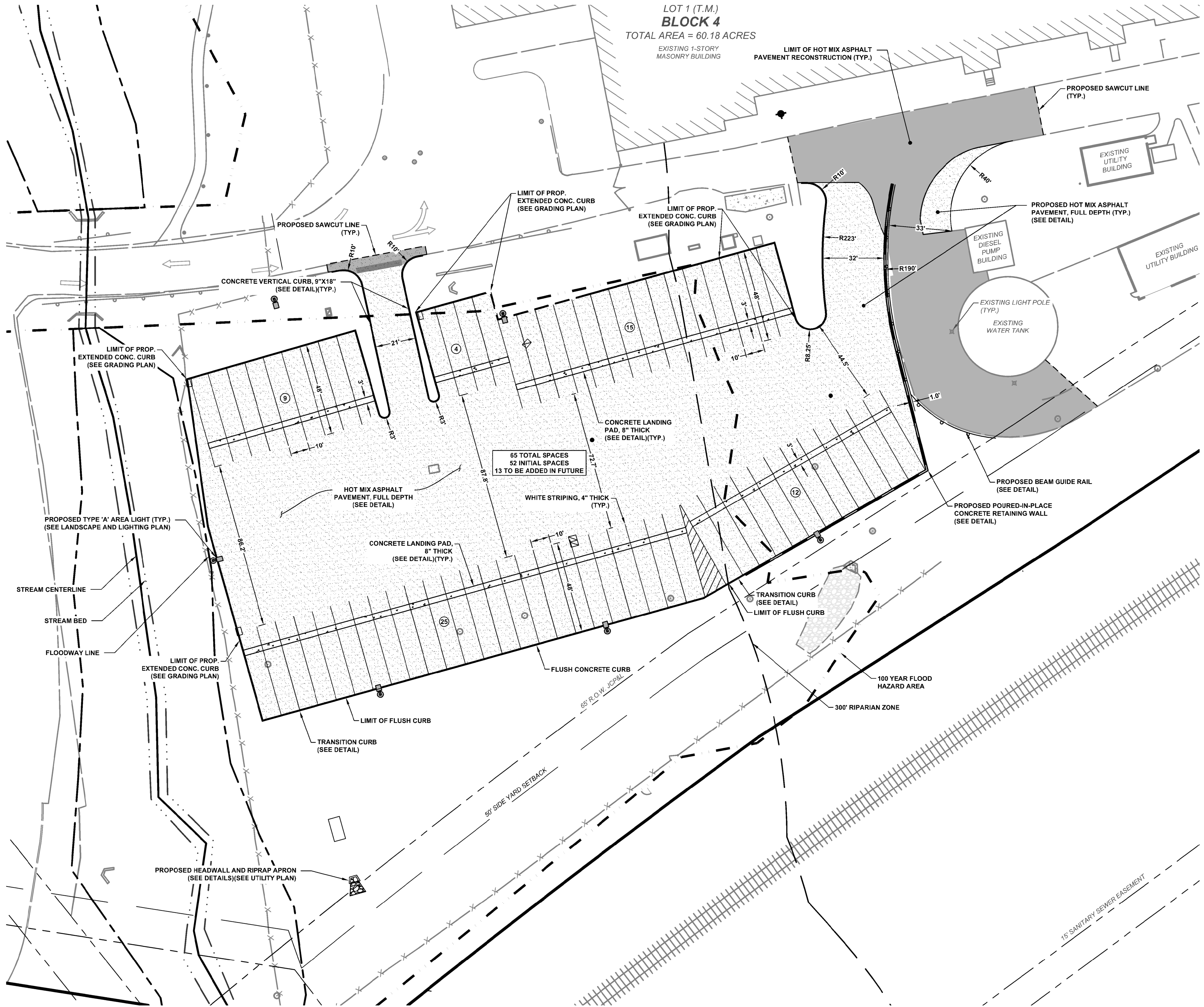
DRAWN BY: RHK 03/28/2019
CHECKED BY: EBA 03/28/2019
CHECKED BY:

DAREN J. PHIL, PE
NJ PROFESSIONAL ENGINEER
LICENSE NO. 24GE03619100
DATE: 03/28/2019

SE SUBURBAN CONSULTING ENGINEERS, INC.
COA NO: 24CA28037500
21MH00004200
Civil Engineers - Municipal Engineers -
Landscape Architects -
Planners - Environmentalists - Land Surveyors -
96 US Highway 206, Suite 101 2430 Highway 34, Bldg. A Suite 1R
Flinders, NJ 07836 - 973.398.1776 Wall, NJ 08736 - 732.282.1776
EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT

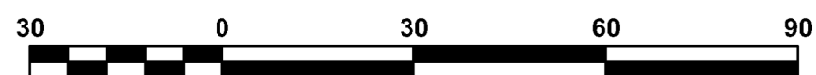
PRELIMINARY AND FINAL MAJOR SITE PLAN FOR MARS INCORPORATED PROPOSED TRAILER PARKING LOT BLOCK 4, LOT 1 TOWN OF HACKETTSTOWN COUNTY OF WARREN, STATE OF NEW JERSEY		PROJECT NUMBER: SCE-8719.074
EXISTING CONDITIONS AND DEMOLITION PLAN		SCALE: 1" = 30'
		SHEET 4 OF 14
		REVISION

E:\SCE\Hackettstown\8719 Hackettstown\8719 074 Final Site Plan Trailer Storage Lot\Sheets\8719 074 05 Site Layout Plan.dwg Thu, Mar 28, 2019 - 5:29pm Romura SUBURBAN CONSULTING ENGINEERS, INC.

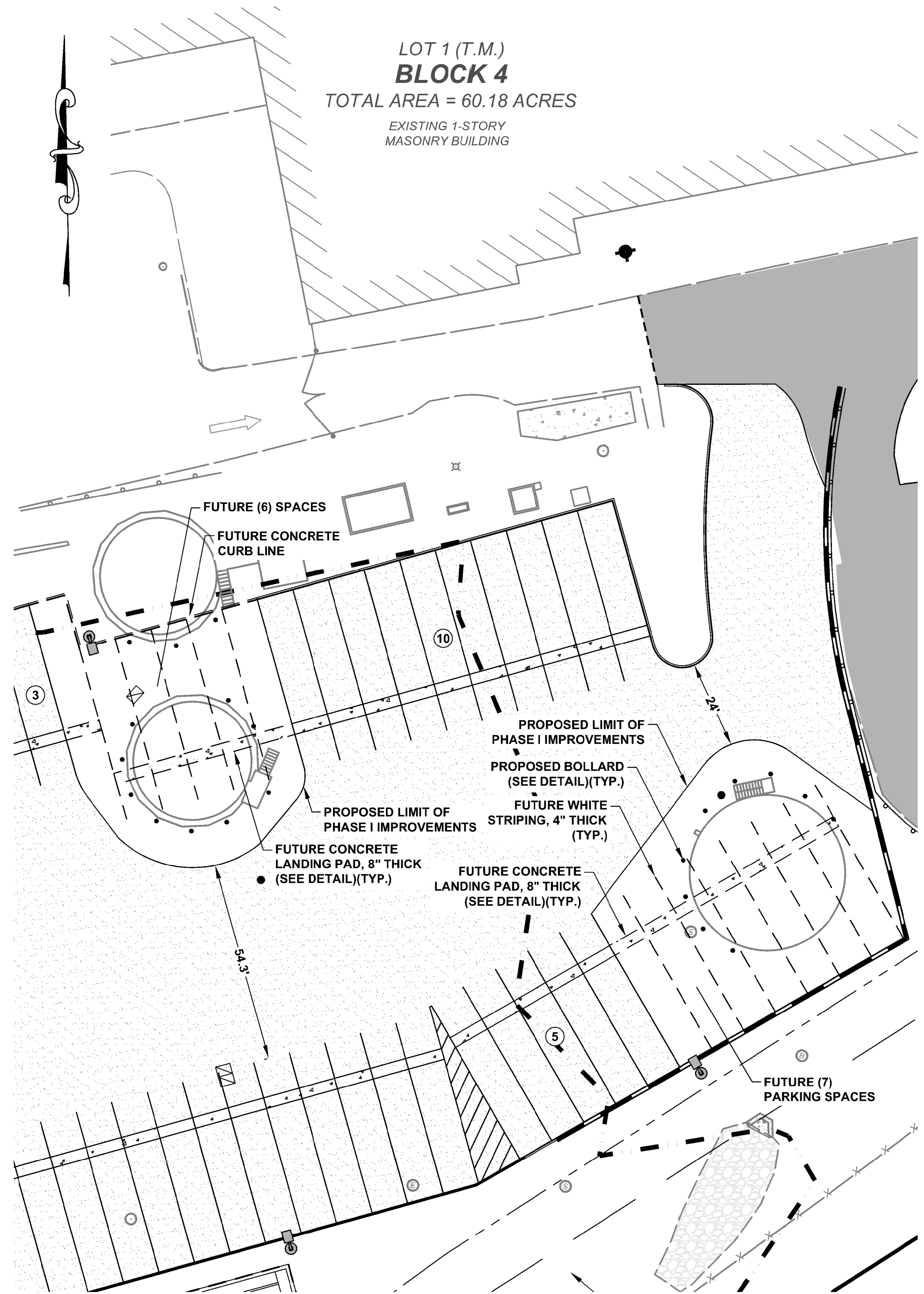


FINAL SITE LAYOUT PLAN

SCALE: 1" = 30'

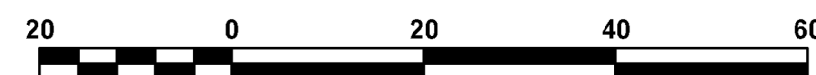


SCALE: 1" = 30'



**CLARIFIER TANK AND SURGE TANK AREA
PHASE I LAYOUT ENLARGEMENT PLAN**

SCALE: 1" = 20'



SCALE: 1" = 20'

NOTICE
THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED.
THIS DRAWING MAY NOT BE COPIED, REPRODUCED, DISCLOSED, DISTRIBUTED, OR SELLER LOANED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SUBURBAN CONSULTING ENGINEERS, INC.
PER N.J.A.C. ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL, OR PAPER COPIES NOT CONTAINING A RAISED SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED.
© COPYRIGHT 2019 SUBURBAN CONSULTING ENGINEERS, INC.™
CERTIFICATE OF AUTHORIZATION NO: 24GA28037500
ALL RIGHTS RESERVED

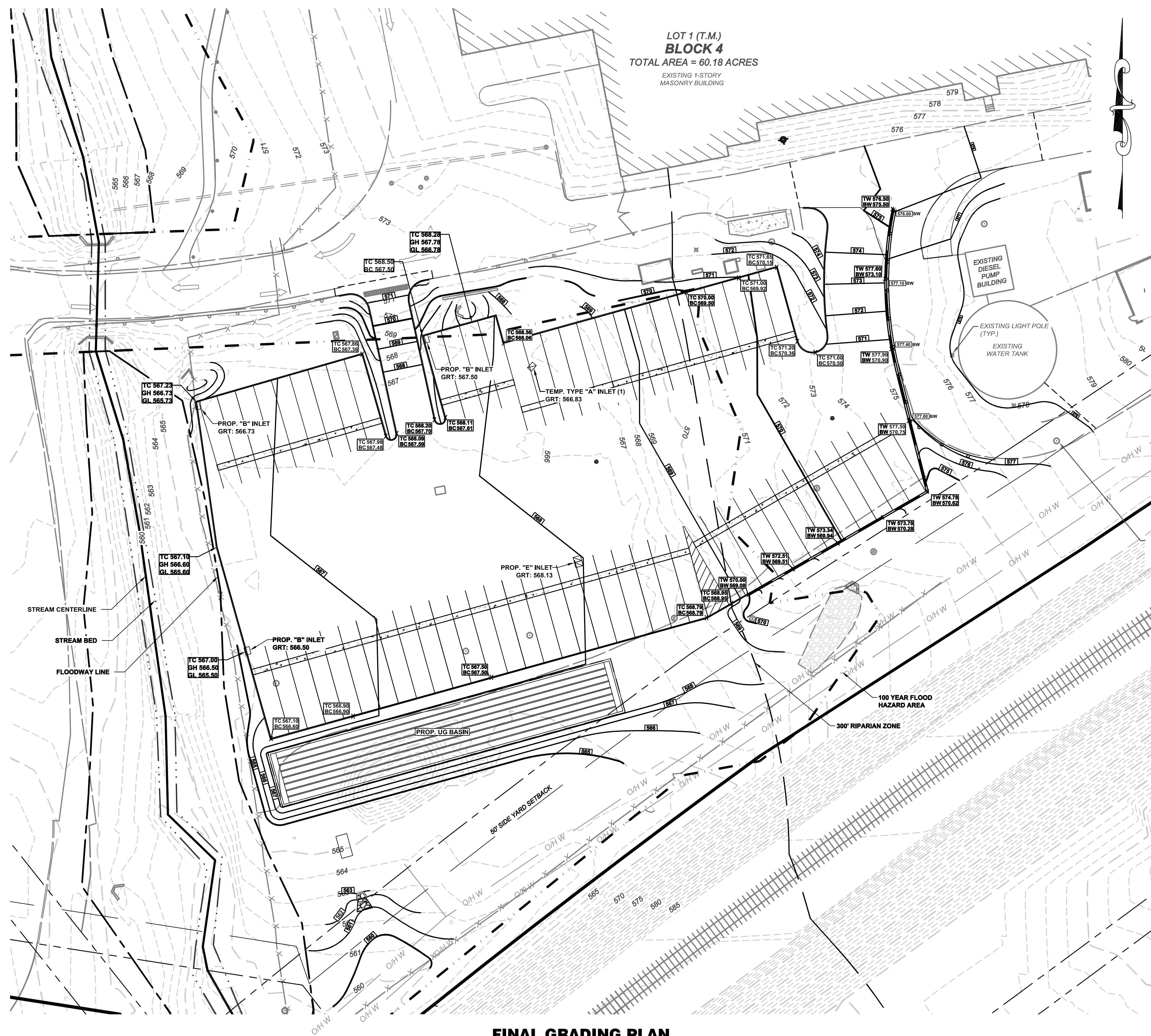
DESCRIPTION	NO.	DATE:	BY:	CHK:
REVISIONS				

DRAWN BY:	RHK
CHECKED BY:	EBA
CHECKED BY:	

DAREN J. PHIL, PE
NJ PROFESSIONAL ENGINEER
LICENSE NO. 24GE03619100
DATE: 03/28/2019

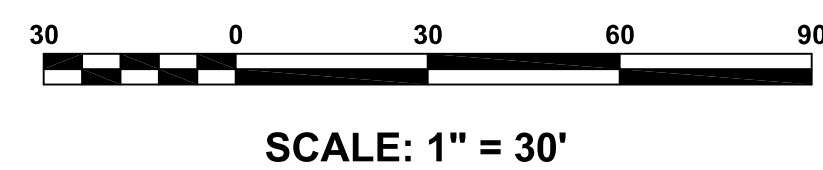
SUBURBAN CONSULTING ENGINEERS, INC.
COA NO.: 24GA28037500
21MH00004200
- Civil Engineers - Municipal Engineers -
- Landscape Architects -
- Planners - Environmentalists - Land Surveyors -
96 US Highway 206, Suite 101 2430 Highway 34, Bldg. A Suite 1R
Plandome, N.J. 07656 - 973.398.1776 Wall, N.J. 08736 - 732.282.1776
EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT

PRELIMINARY AND FINAL MAJOR SITE PLAN FOR MARS INCORPORATED PROPOSED TRAILER PARKING LOT BLOCK 4, LOT 1 TOWN OF HACKETTSTOWN COUNTY OF WARREN, STATE OF NEW JERSEY		PROJECT NUMBER: SCE-8719.074
SITE LAYOUT PLAN		SCALE: AS NOTED
		SHEET 5 OF 14
		REVISION



KEY

TC: TOP OF CURB
BC: BOTTOM OF CURB
GH: GROUND (HIGH)
GL: GROUND (LOW)



NOTICE

THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED.

THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED, OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF

SUBURBAN CONSULTING ENGINEERS, INC

PER N.J.A.C. ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL OR PAPER COPIES NOT CONTAINING A RAISED SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED.

© COPYRIGHT 1988 SUBURBAN CONSULTING ENGINEERS, INC.™
CERTIFICATE OF AUTHORIZATION NO: 24GA2893750


ALL RIGHTS RESERVED

DESCRIPTION	NO.	DATE:	BY:	CHK:
REVISIONS				

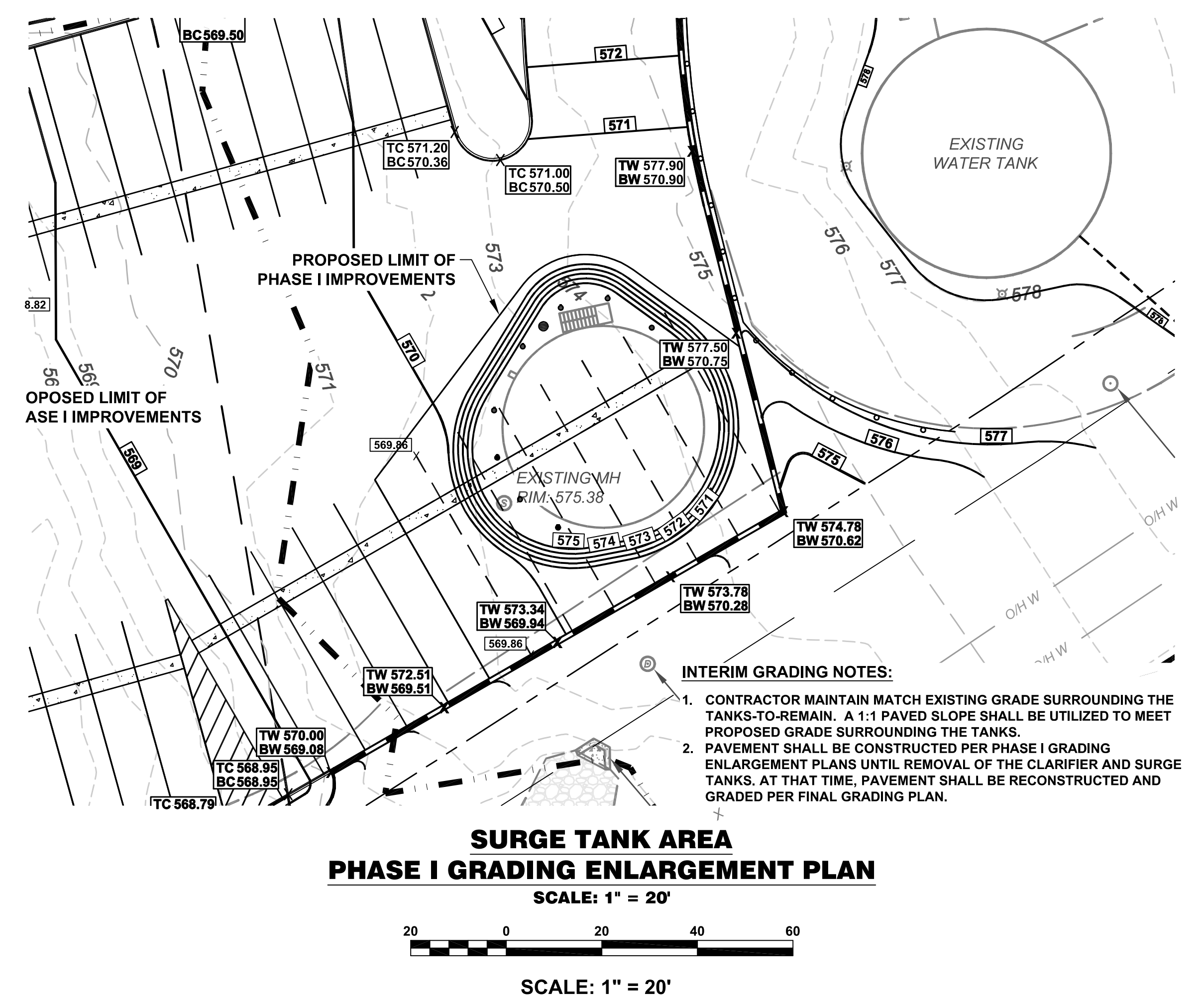
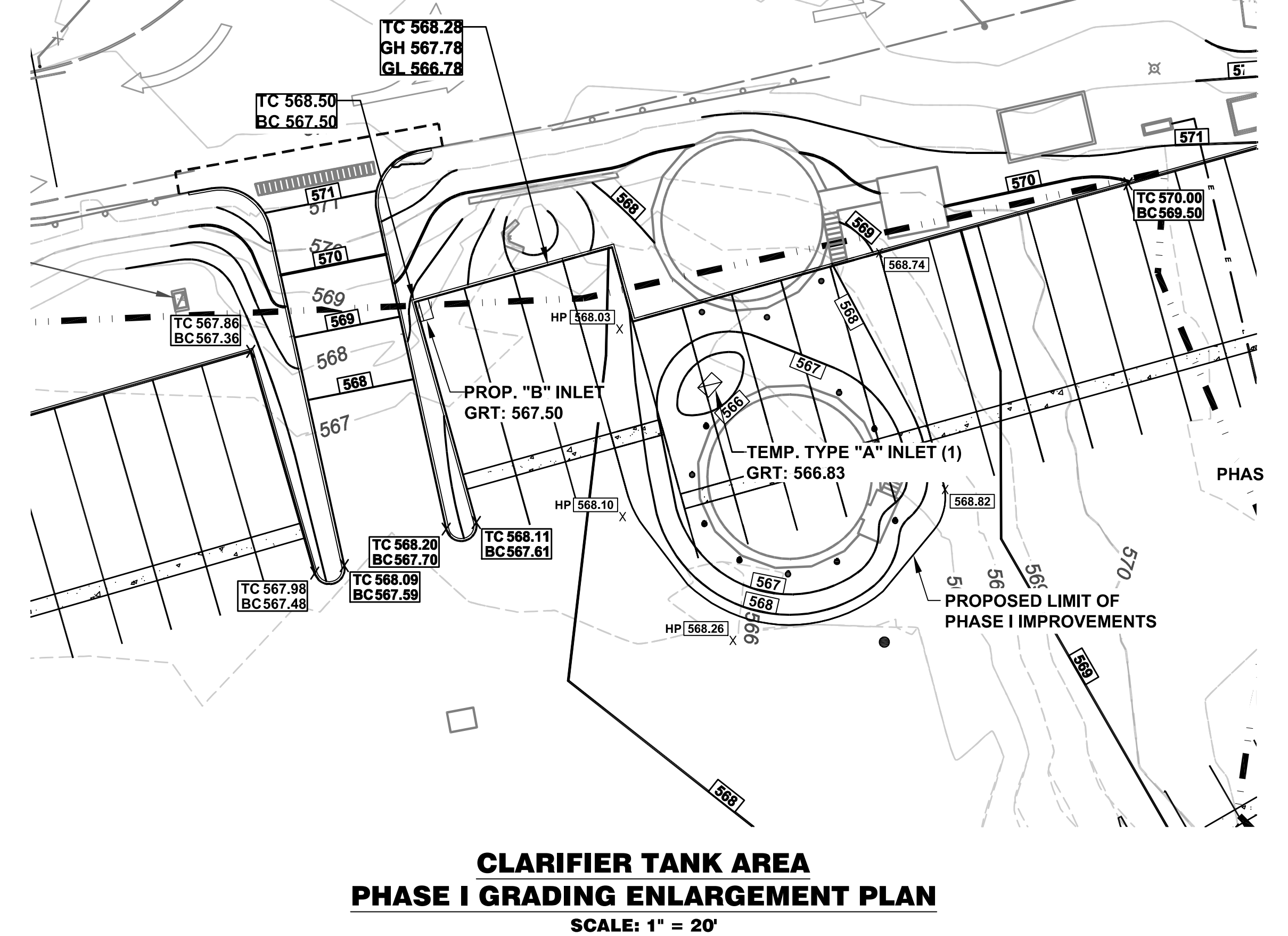
DRAWN BY:
RHK
03/28/2019

CHECKED BY:
EBA
03/28/2019

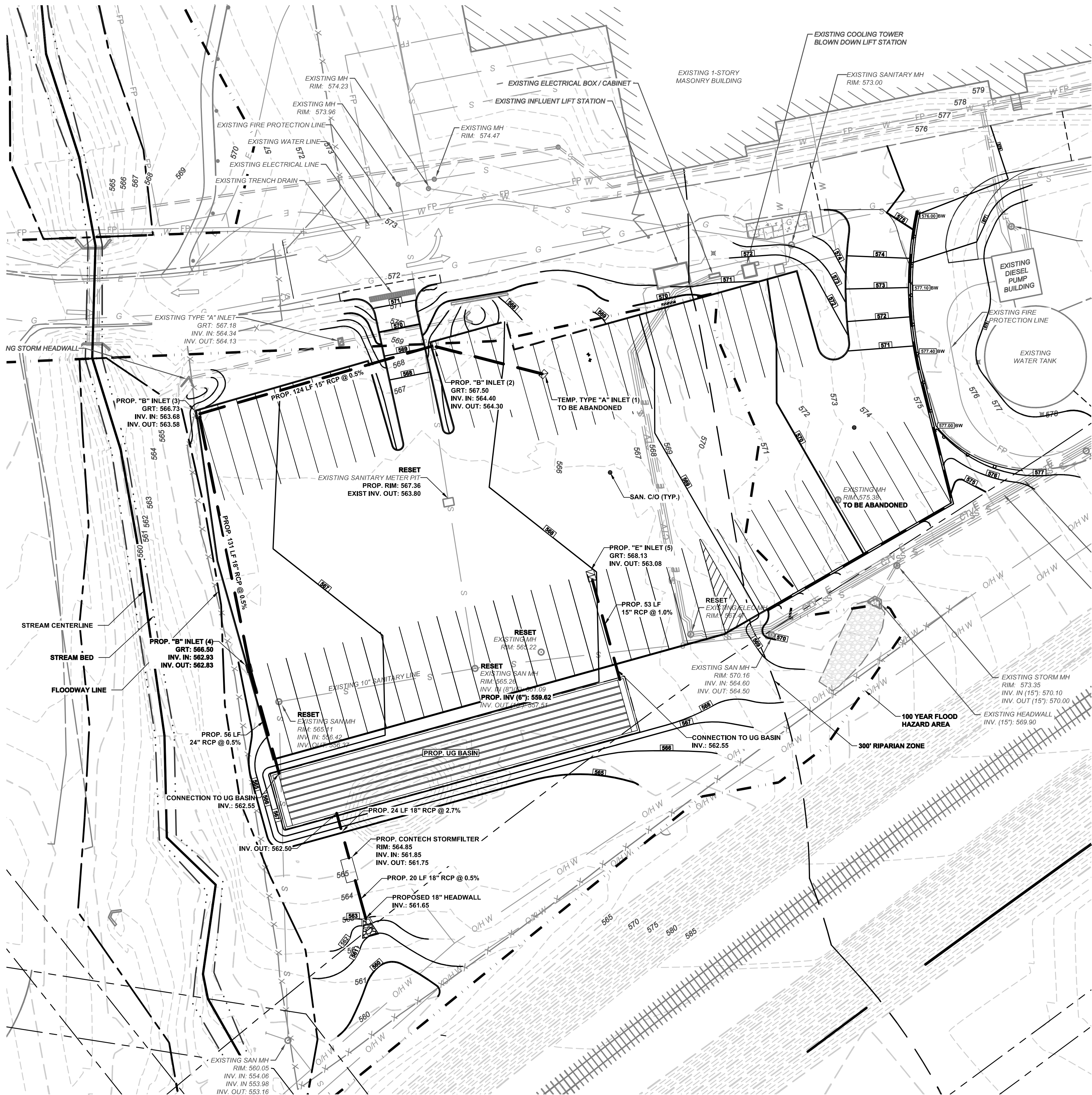
DAREN J. PHIL, PE
NJ PROFESSIONAL ENGINEER
LICENSE NO. 24GE03619100



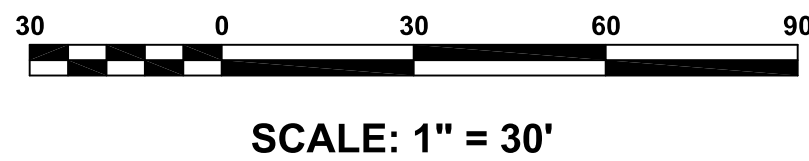
DATE: 03/2



E:\SCE\Hackettstown\8719 Hackettstown\8719.074 Final Site Plan Trailer Storage Lot\Sheets\8719.074 06 Site Grading Plan.dwg Thu, Mar 28, 2019 - 5:39pm rkomura SUBURBAN CONSULTING ENGINEERS, INC.



FINAL UTILITY PLAN
SCALE: 1" = 30'



NOTICE
THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, REPRODUCED, OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SUBURBAN CONSULTING ENGINEERS, INC. PER N.J.A.C. ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL OR PAPER COPIES NOT CONTAINING A PAPER SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED.
© COPYRIGHT 2014 SUBURBAN CONSULTING ENGINEERS, INC.™
CERTIFICATE OF AUTHORIZATION NO. 24G28037500
ALL RIGHTS RESERVED

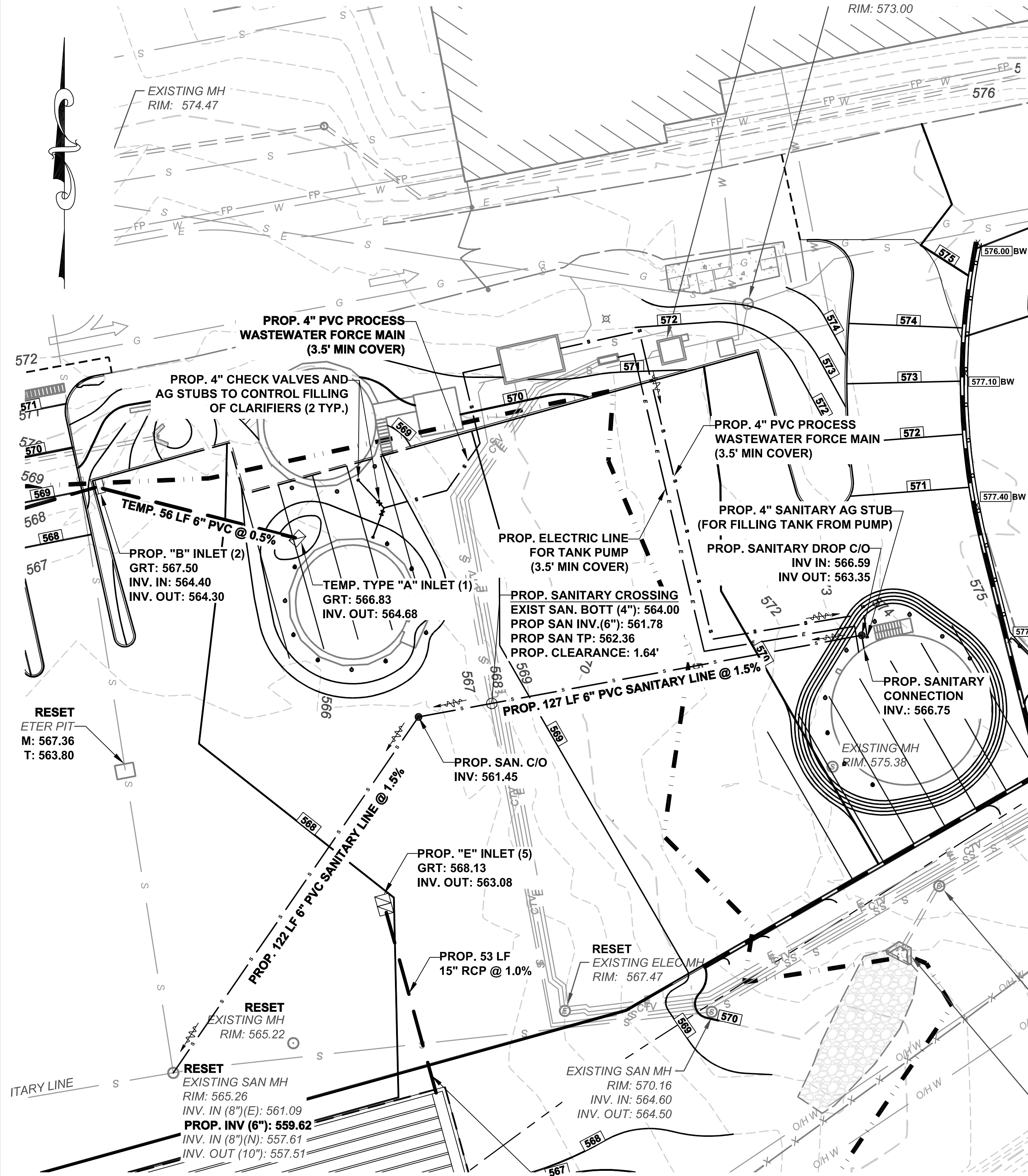
DESCRIPTION	NO.	DATE:	BY:	CHK:
REVISIONS				

DRAWN BY: RHK 03/28/2019	CHECKED BY: EBA 03/28/2019
CHECKED BY:	

DAREN J. PHIL, PE
NJ PROFESSIONAL ENGINEER
LICENSE NO. 24G03619100
DATE: 03/28/2019

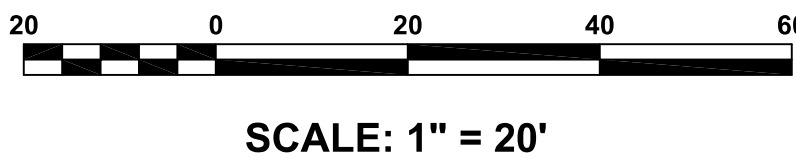
SC **SUBURBAN CONSULTING ENGINEERS, INC.**
COA NO. 24C28037500
21NH00004200
Civil Engineers - Municipal Engineers -
Landscape Architects -
Planners - Environmentalists - Land Surveyors -
96 US Highway 206, Suite 101 2430 Highway 34, Bldg. A Suite 1R
Flinders, NJ 07836 - 973.398.1776 Wall, NJ 08736 - 732.282.1776
EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT

PRELIMINARY AND FINAL MAJOR SITE PLAN FOR MARS INCORPORATED PROPOSED TRAILER PARKING LOT BLOCK 4, LOT 1 TOWN OF HACKETTSTOWN COUNTY OF WARREN, STATE OF NEW JERSEY		PROJECT NUMBER: SCE-8719.074
SCALE: AS NOTED		SHEET 8 OF 14
SITE UTILITY PLAN		REVISION



INTERIM UTILITY NOTE:
UTILITY STRUCTURES AND PIPES SHALL BE INSTALLED UNTIL REMOVAL OF THE CLARIFIER AND SURGE TANKS. AT THAT TIME, UTILITY STRUCTURES AND PIPES SHALL BE ABANDONED.

CLARIFIER AND SURGE TANK AREA
PHASE I UTILITY ENLARGEMENT PLAN
SCALE: 1" = 20'



30 0 30 60 90
SCALE: 1" = 30'

NOTICE
THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, REPRODUCED, OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SUBURBAN CONSULTING ENGINEERS, INC.
PER N.J.A.C. ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL OR PAPER COPIES NOT CONTAINING A PAPER SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED.
© COPYRIGHT 2018 SUBURBAN CONSULTING ENGINEERS, INC.™
CERTIFICATE OF AUTHORIZATION NO: 24GA28037500
ALL RIGHTS RESERVED

DESCRIPTION	NO.	DATE:	BY:	CHK:
REVISIONS				

DRAWN BY:
RHK
03/28/2019
CHECKED BY:
EBA
03/28/2019
CHECKED BY:

DAREN J. PHIL, PE
NJ PROFESSIONAL ENGINEER
LICENSE NO. 24GE03619100
DATE: 03/28/2019

SUBURBAN CONSULTING ENGINEERS, INC.
COA NO: 24GA28037500
21MH00004200
Civil Engineers - Municipal Engineers -
Landscape Architects -
Planners - Environmentalists - Land Surveyors -
96 US Highway 206, Suite 101 2430 Highway 34, Bldg. A Suite 1R
Flinders, NJ 07836 - 973.398.1776 Wall, NJ 08736 - 732.282.1776
EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT

PRELIMINARY AND FINAL MAJOR SITE PLAN FOR
MARS INCORPORATED
PROPOSED TRAILER PARKING LOT
BLOCK 4, LOT 1
TOWN OF HACKETTSTOWN
COUNTY OF WARREN, STATE OF NEW JERSEY
LANDSCAPE AND LIGHTING PLAN
PROJECT NUMBER:
SCE-8719.074
SCALE:
1" = 30'
SHEET 8 OF 14
REVISION _



LIGHTING NOTES:

1. THIS PLAN IS TO BE USED FOR THE PURPOSES OF LANDSCAPE AND LIGHTING ONLY.
2. EXAMPLE LABEL: " A @ 25' " DENOTES LUMINAIRE TYPE 'A' AND MOUNTING HEIGHT AT 25'.
3. ALL POSTS SHALL BE LOCATED A MINIMUM OF 2'-6" FROM THE EDGE OF CURB.
4. LIGHT CALCULATIONS PROVIDED FOR PROPOSED TRAILER PARKING LOT ONLY.
5. LAYOUT SHOWN REFLECTS FINAL PHASE INCLUDING TANK REMOVAL.

Light Calculation Statistics

Description	Symbol	Avg	Max	Min	Avg/Min
Parking Lot	+	2.0 fc	4.8 fc	0.5 fc	4.0:1

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Light Loss Factor	Wattage
⊕ (with new pole) / (on ex. pole)	A	7	Li thonia Lighting	DSK1 LED P9 50K TFTM MVOLT	DSK1 LED P9 50K TFTM MVOLT	LED	DSK1_LED_P9_50K_TFTM_MVOLT.i.e.s	0.85	241
⊕	B	2	Li thonia Lighting EXISTING LIGHT TO REMAIN	DSK1 LED P9 50K T3M MVOLT	DSK1 LED P9 50K T3M MVOLT	LED	DSK1_LED_P9_50K_T3M_MVOLT.i.e.s	0.85	241



SCALE: 1" = 30'

SEQUENCE OF CONSTRUCTION

1. MOBILIZATION AND ESTABLISHING STAGING AREA, AND INSTALLATION OF SOIL EROSION AND SEDIMENT CONTROL MEASURES	1.0 WEEK
2. DEMOLITION, CLEARING SITE AND EARTHWORK	24.0 WEEKS
3. DRAINAGE, UTILITY STRUCTURES, ROUGH GRADING AND RETAINING WALL CONSTRUCTION	6.0 WEEKS
4. CONCRETE CURB AND CONCRETE PAD INSTALLATION	7.0 WEEKS
5. LIGHTING INSTALLATION	1.0 WEEK
6. ASPHALT PAVEMENT INSTALLATION	2.0 WEEKS
7. SITE RESTORATION AND REMOVAL OF SOIL EROSION AND SEDIMENT MEASURES	2.0 WEEK
TOTAL:	43.0 WEEKS

LEGEND

	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED SILT FENCE
	PROPOSED CONSTRUCTION FENCE
	SOIL SERIES BOUNDARY
	PROPOSED INLET PROTECTION/DEVICE
	AREA SUBJECT TO COMPACTION TESTING (SEE CALCULATIONS)

TOTAL DISTURBANCE = 124,511 SF (2.86 ACRES)

TOTAL AREA OF SOIL COMPACTION TESTING

	SECTION	AREA (SF)	AREA (AC.)
	1	10,260	0.24
	2	35,714	0.82
TOTAL		45,974	1.06

SOIL COMPACTION TESTING NOTE:
2 TESTS REQUIRED FOR ONE ACRE.
1 TEST PER 0.5 ACRE OVER ONE ACRE.

TOTAL NUMBER OF TESTS REQUIRED: 3

NOTE:
LAYOUT SHOWN REFLECTS FINAL PHASE. CONTRACTOR SHALL IMPLEMENT SOIL EROSION AND SEDIMENT CONTROL MEASURES DURING THE REMOVAL OF THE CLARIFIER AND SURGE TANKS.

NOTICE

THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED.
THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED, OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SUBURBAN CONSULTING ENGINEERS, INC.
PER N.J.A.C. ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL OR PAPER COPIES NOT CONTAINING A RAISED SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED.

© COPYRIGHT 2018 SUBURBAN CONSULTING ENGINEERS, INC.™
CERTIFICATE OF AUTHORIZATION NO: 24GA28037500
ALL RIGHTS RESERVED

DESCRIPTION	NO.	DATE:	BY:	CHK:
REVISIONS				

DRAWN BY:
RHK
03/28/2019
CHECKED BY:
EBA
03/28/2019
CHECKED BY:

DAREN J. PHIL, PE
NJ PROFESSIONAL ENGINEER
LICENSE NO. 24GE03619100

DATE: 03/28/2019

SC SUBURBAN CONSULTING ENGINEERS, INC.
COA NO: 24GA28037500
21MH00004200

- Civil Engineers - Municipal Engineers -
- Landscape Architects -
- Planners - Environmentalists - Land Surveyors -
96 US Highway 206, Suite 101 2430 Highway 34, Bldg. A Suite 1R
Flinders, N.J. 07836 - 973.398.1776 Wall, N.J. 08736 - 732.282.1776

EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT

PRELIMINARY AND FINAL MAJOR SITE PLAN FOR
MARS INCORPORATED
PROPOSED TRAILER PARKING LOT
BLOCK 4, LOT 1
TOWN OF HACKETTSTOWN
COUNTY OF WARREN, STATE OF NEW JERSEY

SOIL EROSION AND SEDIMENT CONTROL PLAN

PROJECT NUMBER:
SCE-8719.074

SCALE:
1" = 30'

SHEET 9 OF 14

REVISION _

E:\SCE\Hackettstown\8719 Hackettstown\8719.074 Final Site Plan Trailer Storage Lot\Sheets\8719.074 10 Soil Erosion & Sediment Control Notes & Details.dwg Thu, Mar 28, 2019 - 5:59pm rkomura SUBURBAN CONSULTING ENGINEERS, INC.

**WARREN COUNTY SOIL EROSION & SEDIMENT CONTROL
GENERAL NOTES**

- THE DISTRICT SHALL BE REPRESENTED AT THE PROJECT PRE-CONSTRUCTION MEETING WITH THE TOWNSHIP ENGINEER, CONTRACTORS AND UTILITY REPRESENTATIVES. IF THE TOWNSHIP ENGINEER DOES NOT SCHEDULE A PRE-CONSTRUCTION MEETING, IT IS THE RESPONSIBILITY OF THE OWNER/APPLICANT TO SCHEDULE ONE BEFORE ANY LAND DISTURBANCE. TWO WEEKS WRITTEN NOTICE MUST BE GIVEN FOR SCHEDULING PRE-CONSTRUCTION MEETINGS.
- FAILURE OF THE AFOREMENTIONED PLAN SHALL NOT RELIEVE THE APPLICANT OF ANY OF ITS RESPONSIBILITIES RELEVANT TO THE APPROPRIATE STATUTES. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY THE DISTRICT IN THE EVENT OF ANY UNFORESEEN PROBLEMS DURING CONSTRUCTION.
- ANY CHANGES OF APPROVED PLANS SHALL REQUIRE AN ADDITIONAL SUBMITTAL TO THE DISTRICT INCLUDING APPROPRIATE RE-REVIEW FEES.
- A 48 HOUR START OF LAND DISTURBANCE NOTIFICATION SHALL BE GIVEN.
- IN THAT *N.J.S.A. 4-24-39 ET SEQ* REQUIRES THAT NO CERTIFICATES OF OCCUPANCY TO BE ISSUED BY THE MUNICIPALITY BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK RELATIVE TO APPROVED PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS WILL BE COMPLETED BEFORE THE DISTRICT ISSUES A CERTIFICATE OF COMPLIANCE. TWO WEEKS WRITTEN NOTICE MUST BE GIVEN TO THE DISTRICT TO SCHEDULE INSPECTION FOR CERTIFICATE OF COMPLIANCE RELEASE.
- FINAL STABILIZATION OF ALL LAND DISTURBANCES ASSOCIATED WITH UNDERGROUND UTILITIES, IRRESPECTIVE OF PHASING, IS THE ULTIMATE RESPONSIBILITY OF THE OWNER.
- A CASH BOND OF NOT LESS THAN \$2,500. (PER DISTURBED ACRE OR PART THEREOF) WILL BE POSTED WITH THE WARREN COUNTY SOIL CONSERVATION DISTRICT DURING THE NON-GROWING SEASON (NOVEMBER 15 - APRIL 15) IF A CERTIFICATE OF COMPLIANCE IS NEEDED AND SOIL EROSION AND SEDIMENT CONTROL MEASURES FOR PERMANENT STABILIZATION ARE NOT COMPLETED.
- SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
- NO BUILDING PERMITS WILL BE RELEASED UNTIL ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON APPROVED PLANS ARE INSTALLED.
- DUST TO BE CONTROLLED WITH WATER, CALCIUM CHLORIDE OR OTHER METHOD APPROVED BY THE SOIL CONSERVATION DISTRICT.
- TRACKING PAD TO BE KEPT CLEAN AND REPAIRED AS NECESSARY.
- SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH *STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, FEBRUARY 2014*.
- SEE DETAIL SHEETS FOR ADDITIONAL SOIL AND SEDIMENT CONTROL DETAILS.
- TOPSOIL STOCKPILE PROTECTION
 - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT.
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1000 SQ. FT.
 - APPLY PERENNIAL RYEGRASS SEED AT 1 LB PER 1000 SQ. FT. AND ANNUAL RYEGRASS AT 1 LB PER 1000 SQ. FT.
 - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS PER 1000 SQ. FT.
 - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
 - PROPERTY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.
- TEMPORARY STABILIZATION SPECIFICATIONS
 - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT.
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1000 SQ. FT.
 - APPLY PERENNIAL RYEGRASS SEED AT 1 LB PER 1000 SQ. FT. AND ANNUAL RYEGRASS AT 1 LB PER 1000 SQ. FT.
 - MULCH WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
 - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
- PERMANENT STABILIZATION SPECIFICATIONS
 - APPLY TOPSOIL TO A DEPTH OF 5 INCHES (UNSETTLED).
 - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT. AND WORK FOUR INCHES INTO SOIL.
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1000 SQ. FT.
 - APPLY HARD FESCUE SEED AT 2.7 LBS PER 1000 SQ. FT. AND CREEPING RED FESCUE SEED AT 0.7 LBS PER 1000 SQ. FT. A PERENNIAL RYEGRASS SEED AT 0.25 LBS PER 1000 SQ. FT.
 - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
 - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
- USDA SOIL SERIES FROM SOIL SURVEY MANUAL OF WARREN COUNTY, NEW JERSEY SHOW:
FrdAb - Fredon-Halsey complex, 0 to 3 percent slopes, very stony
NetBb - Netcong loam, 0 to 8 percent slopes, very stony
UdauB - Udorthents-Urban land complex, 0 to 8 percent slopes

DUST CONTROL NOTES

THE FOLLOWING METHODS SHOULD BE USED FOR CONTROLLING DUST:
MULCHES - SEE STANDARDS FOR STABILIZATION WITH MULCHES ONLY (Pg. 5-1).
VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER (Pg 7-1), PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION (Pg 4-1), AND PERMANENT STABILIZATION WITH SOD (6-1).
SPRAY-ON ADHESIVE - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

TABLE 16-1: DUST CONTROL MATERIALS

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS / ACRE
ANIONIC ASPHALT EMULSION	7 : 1	COARSE SPRAY	1,200
LATEX EMULSION	12.5 : 1	FINE SPRAY	235
RESIN IN WATER	4 : 1	FINE SPRAY	300
POLYACRYLAMIDE (PAM)- SPRAY ON POLYACRYLAMIDE (PAM)- DRY SPRAY	APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD (Pg. 26-1)		
ACIDULATED SOY BEAN STICK	NONE	COARSE SPRAY	1,200

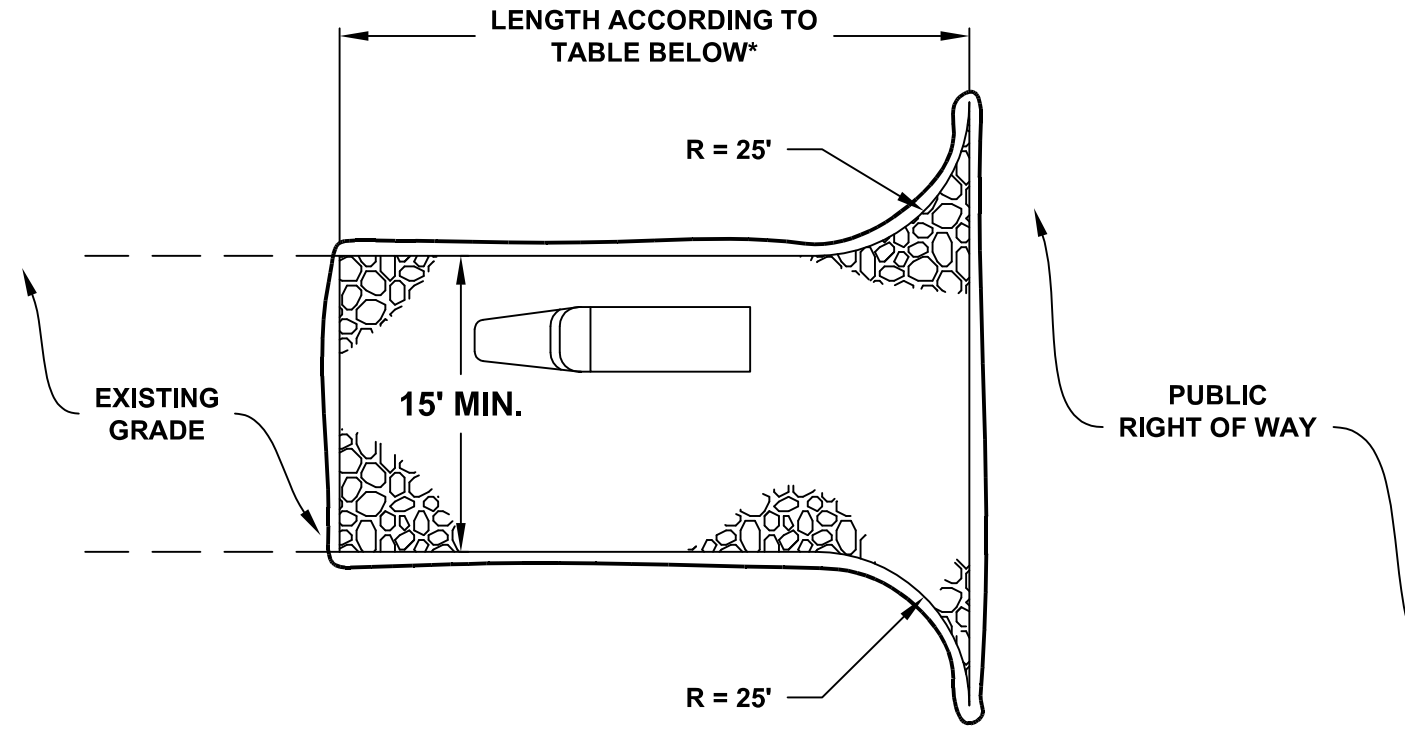
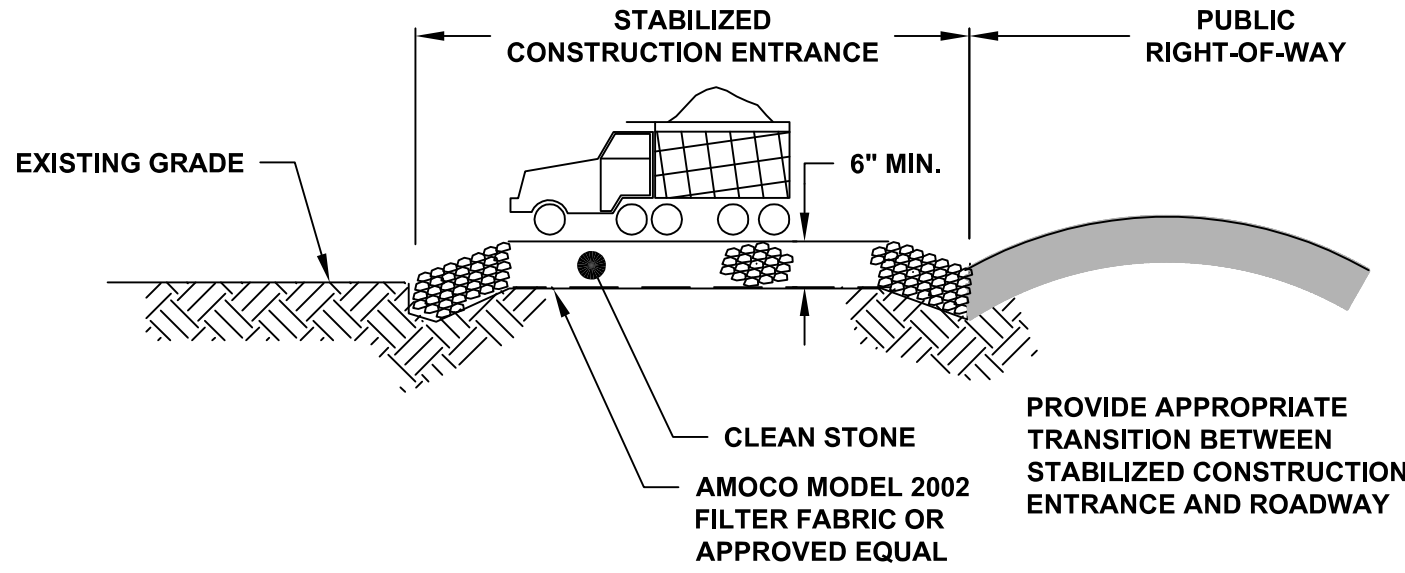
TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.

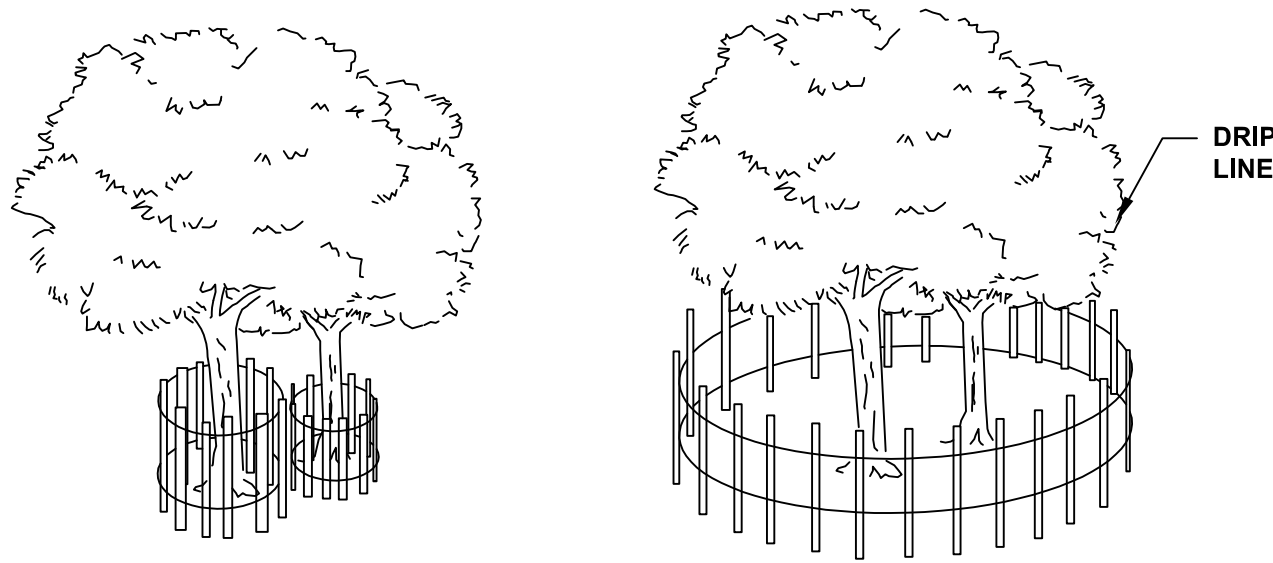
STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.



PERCENT SLOPE OF ROADWAY	LENGTH STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT.	100 FT.
2 TO 5%	100 FT.	200 FT.
> 5%	ENTIRE SURFACE STABILIZED WITH FABC BASE COURSE	

*AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

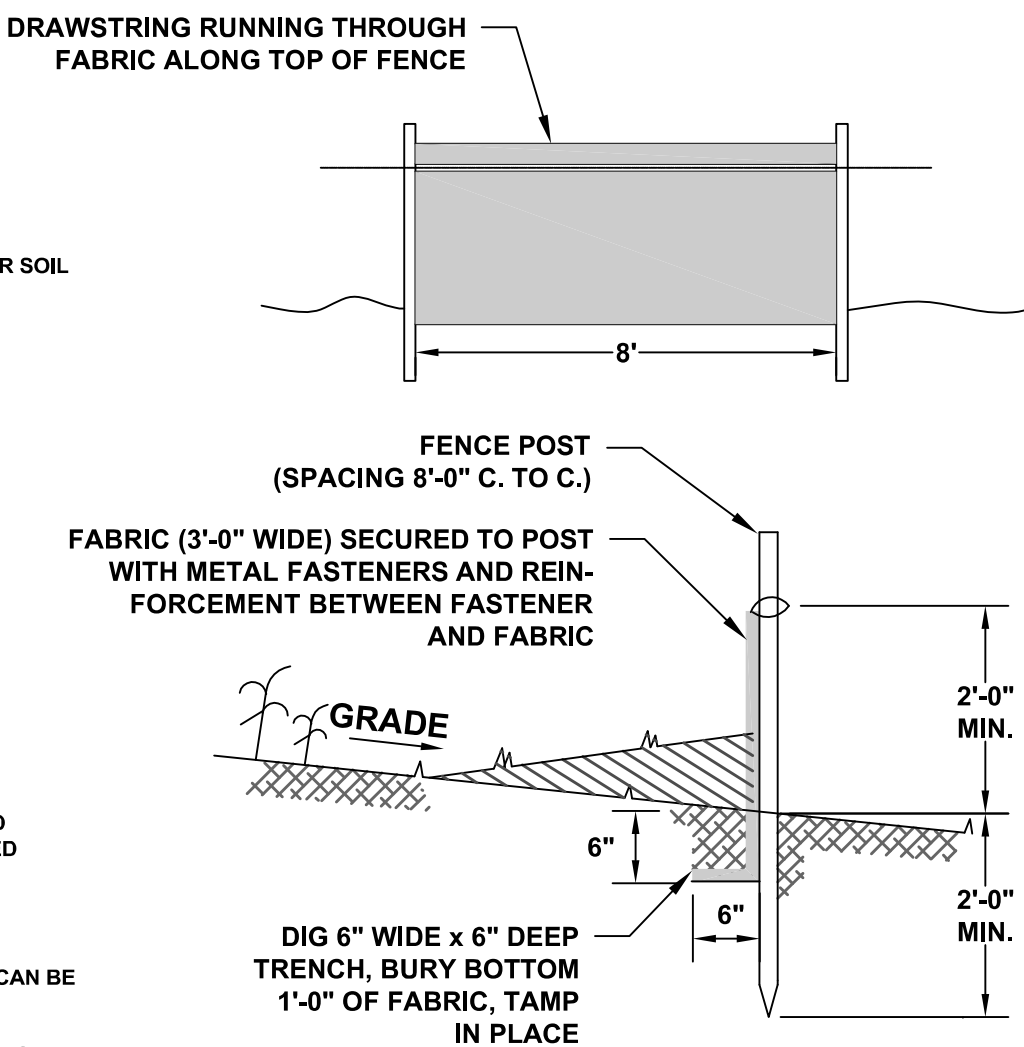
**STABILIZED CONSTRUCTION ENTRANCE
N.T.S.**



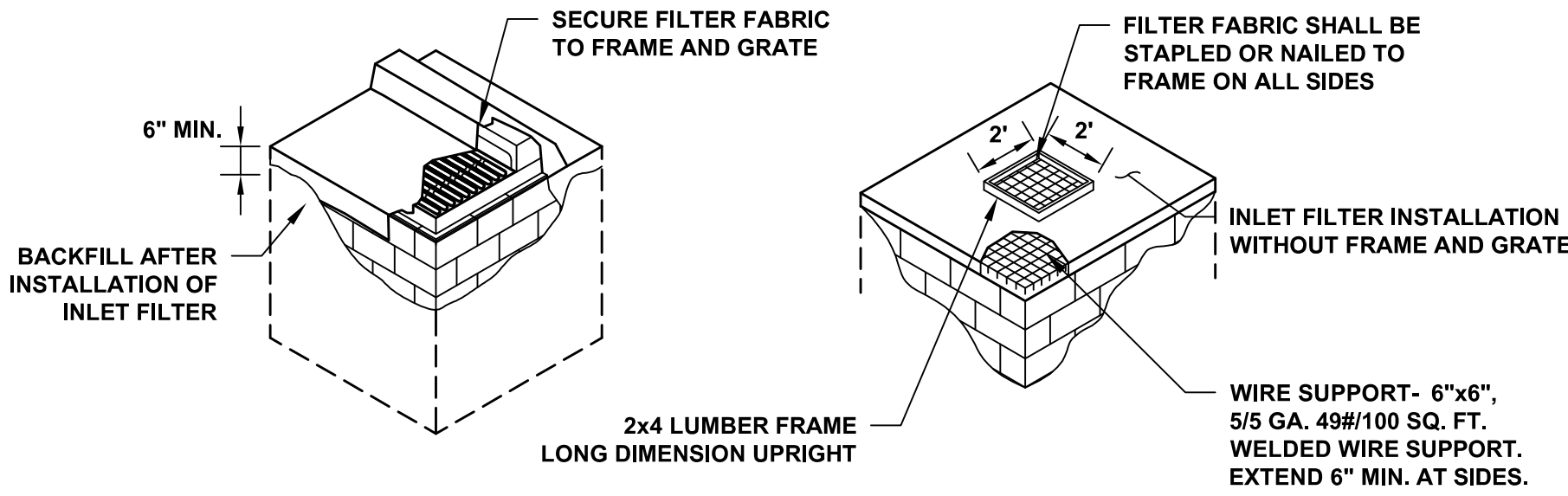
INCORRECT FENCING FOR TREE PROTECTION

CORRECT FENCING FOR TREE PROTECTION

**TREE PROTECTION
N.T.S.**

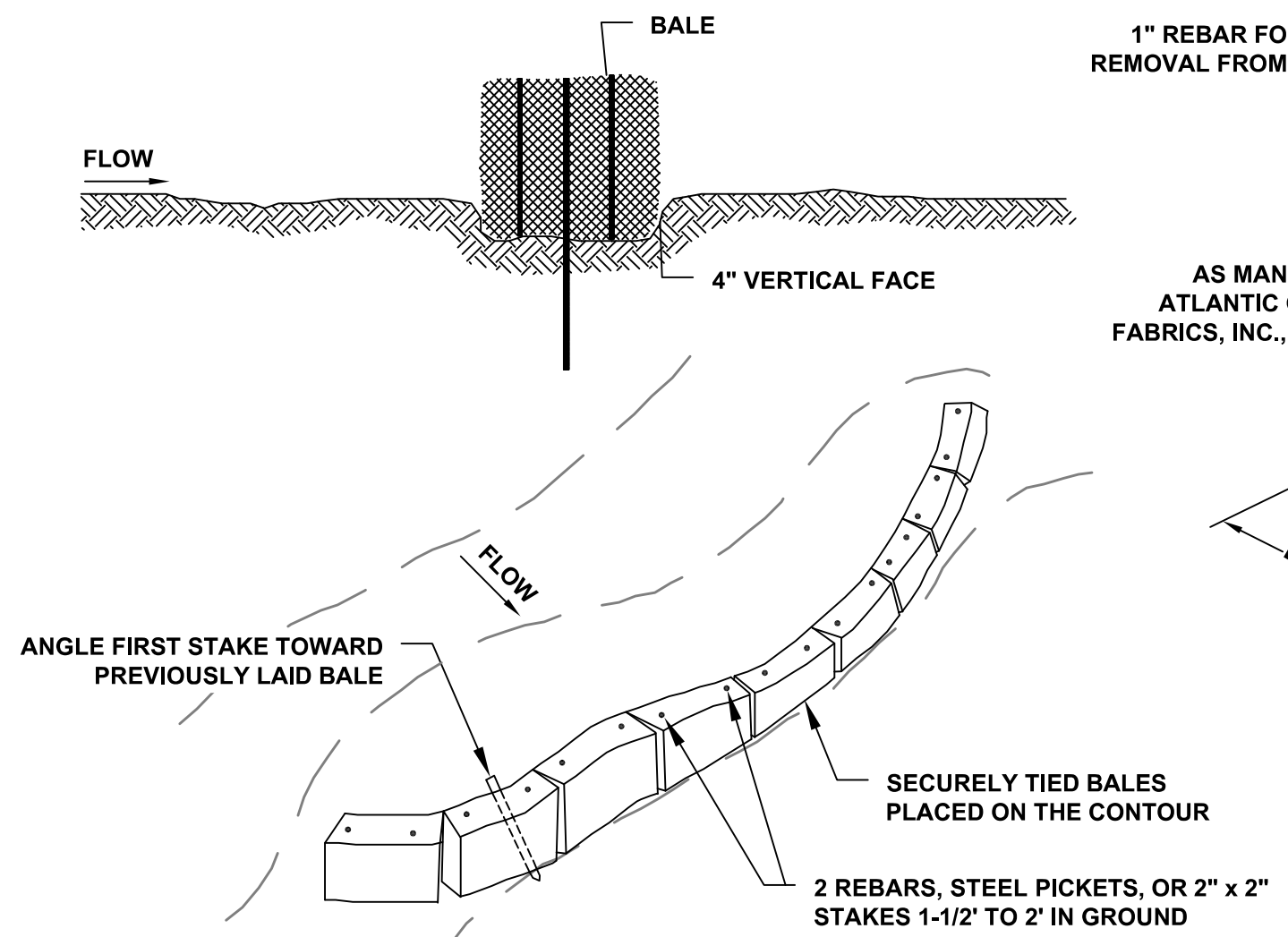


**SEDIMENT FENCE DETAIL
N.T.S.**

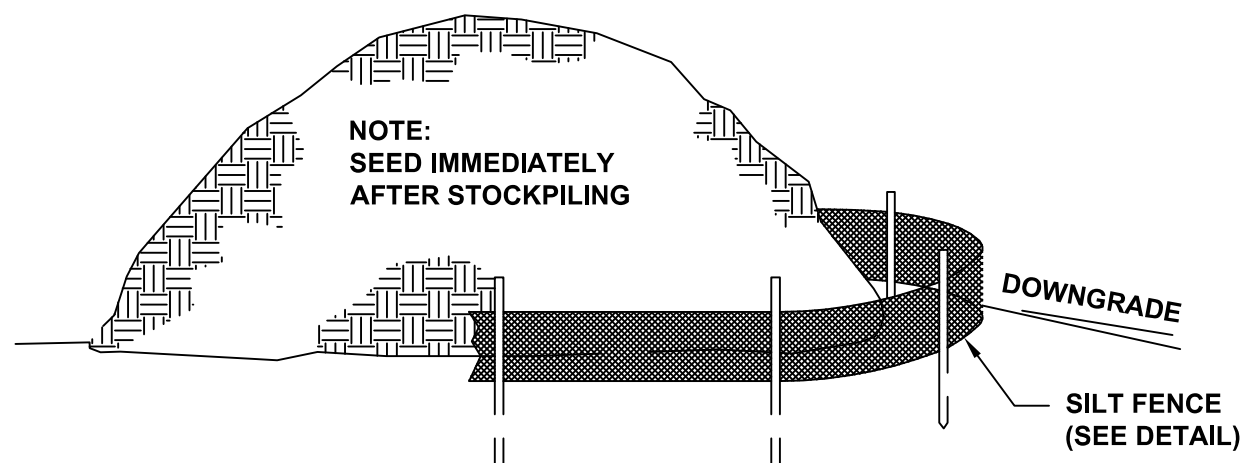


- NOTES:**
- CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
 - IF BOTTOM OF ROADWAY BOX IS BELOW TOP OF GRATE, CONSTRUCT OPENINGS IN INLET WALL TO ALLOW WATER TO FLOW IN. COVER OPENINGS WITH WELDED WIRE SUPPORT AND FILTER FABRIC.
 - INSPECTION SHALL BE MADE FREQUENT. MAINTENANCE, REPAIR AND REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED.

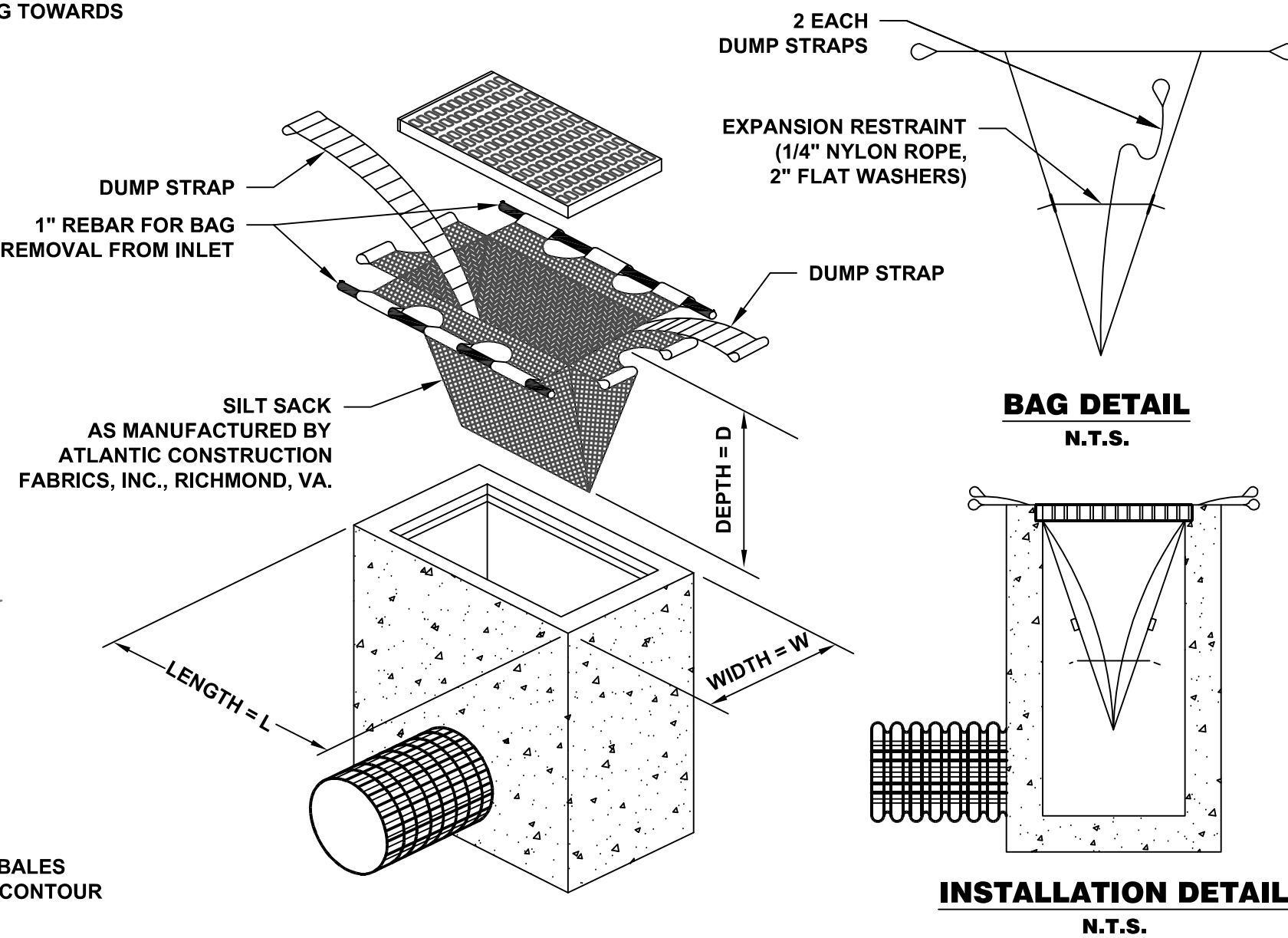
**INLET FILTER DETAIL
N.T.S.**



**HAYBALE SEDIMENT BARRIERS
N.T.S.**



**TYPICAL TOPSOIL STOCKPILE
N.T.S.**



**INLET PROTECTION DEVICE
N.T.S.**

Soil De-compaction and Testing Requirements

Soil Compaction Testing Requirements

- Subgrade soils **prior to the application of topsoil** (see permanent seeding and stabilization notes for topsoil requirements) shall be free of excessive compaction to a depth of 6.0 inches to enhance the establishment of permanent vegetative cover.
- Areas of the site which are subject to compaction testing and/or mitigation are **graphically denoted** on the certified soil erosion control plan.
- Compaction testing locations** are denoted on the plan. A copy of the plan or portion of the plan shall be used to mark locations of tests, and attached to the compaction remediation form, available from the local soil conservation district. This form must be filled out and submitted prior to receiving a certificate of compliance from the district.
- In the event that testing indicates compaction in excess of the maximum thresholds indicated for the simplified testing methods (see details below), the contractor/owner shall have the option to perform either (1) compaction mitigation over the entire mitigation area denoted on the plan (excluding exempt areas), or (2) perform additional, more detailed testing to establish the limits of excessive compaction whereupon only the excessively compacted areas would require compaction mitigation. Additional detailed testing shall be performed by a trained, licensed professional.

Compaction Testing Methods

- Probing Wire Test (see detail)
- Hand-held Penetrometer Test (see detail)
- Tube Bulk Density Test (licensed professional engineer required)
- Nuclear Density Test (licensed professional engineer required)

Note: Additional testing methods which conform to ASTM standards and specifications, and which produce a dry weight, soil bulk density measurement may be allowed subject to District approval.

Soil compaction testing is not required if/when subsoil compaction remediation (scarification/tillage (6\"/>

Procedures for Soil Compaction Mitigation

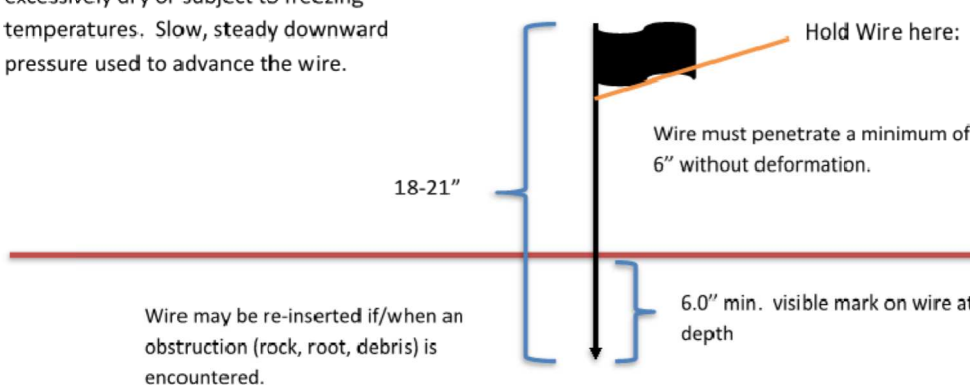
Procedures shall be used to mitigate excessive soil compaction **prior to placement of topsoil** and establishment of permanent vegetative cover.

Restoration of compacted soils shall be through deep scarification/tillage (6\"/>

Simplified Testing Methods

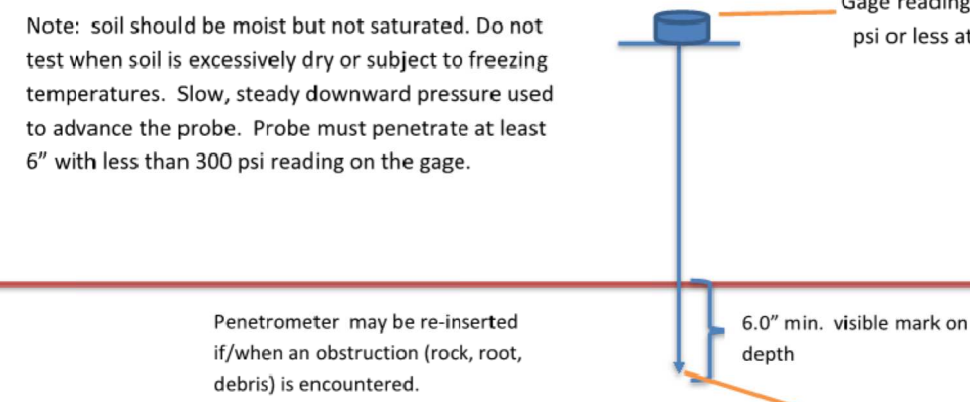
Probing Wire Test- 15.5 ga steel wire (survey flag)

Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the wire.



Handheld Soil Penetrometer Test

Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the probe. Probe must penetrate at least 6\"/>



NOTICE
THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED.
THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED, OR REPRODUCED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SUBURBAN CONSULTING ENGINEERS, INC.
PER N.J.A.C. ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL OR PAPER COPIES NOT CONTAINING A PAPER SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED.
© COPYRIGHT 2014 SUBURBAN CONSULTING ENGINEERS, INC.™
CERTIFICATE OF AUTHORIZATION NO: 24G03619100
ALL RIGHTS RESERVED

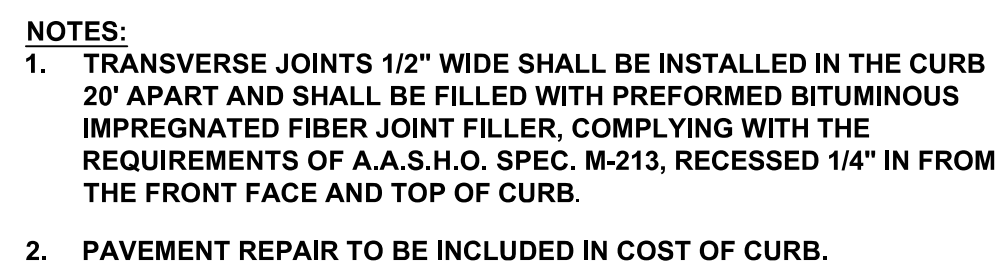
DESCRIPTION	NO.	DATE:	BY:	CHK:
REVISIONS				

DRAWN BY: RHK 03/28/2019	CHECKED BY: EBA 03/28/2019	CHECKED BY:
--------------------------------	----------------------------------	-------------

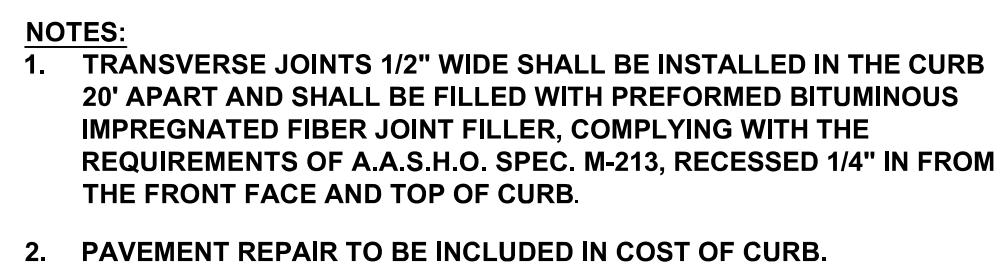
DAREN J. PHIL, PE
NJ PROFESSIONAL ENGINEER
LICENSE NO. 24G03619100
DATE: 03/28/2019

SE SUBURBAN CONSULTING ENGINEERS, INC.
COA NO: 24G03619100
21MH00004200
Civil Engineers - Municipal Engineers -
Landscape Architects -
Planners - Environmentalists - Land Surveyors -
96 US Highway 206, Suite 101 2430 Highway 34, Bldg. A Suite 1R
Hackettstown, NJ 07836 - 973.398.1776 Wall, NJ 08736 - 732.282.1776
EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT

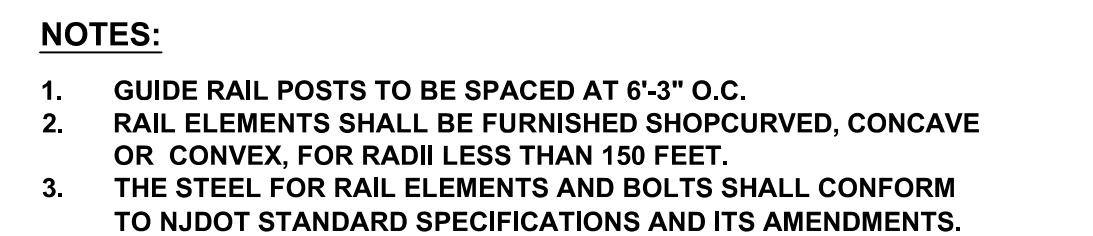
PRELIMINARY AND FINAL MAJOR SITE PLAN FOR MARS INCORPORATED PROPOSED TRAILER PARKING LOT BLOCK 4, LOT 1 TOWN OF HACKETTSTOWN COUNTY OF WARREN, STATE OF NEW JERSEY		PROJECT NUMBER: SCE-8719.074
SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS		SCALE: N.T.S.
		SHEET 10 OF 14
		REVISION _



CONCRETE VERTICAL CURB, 9" X 18"
N.T.S.





EXTENDED CONCRETE CURB
N.T.S.



BEAM GUIDE RAIL POST ASSEMBLY & INSTALATION DETAIL

N.T.S.



<div>NOTICE</div> <div>THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED, OR BE LOANED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SUBURBAN CONSULTING ENGINEERS, INC.</div> <div>FOR N.J.A.C. ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL OR PAPER COPIES NOT CONTAINING A REASED SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED.</div>					<div>DRAWN BY:</div> <div>RHK</div> <div>03/28/2019</div> <div>CHECKED BY:</div> <div>EBA</div> <div>03/28/2019</div> <div>CHECKED BY:</div>		<div>DAREN J. PHIL, PE</div> <div>NJ PROFESSIONAL ENGINEER</div> <div>LICENSE NO. 24GE03679100</div> <div></div>		<div></div> <div>SUBURBAN CONSULTING ENGINEERS, INC.</div> <div>COA NO.: 24GE0307500</div> <div>21MJ400004200</div> <div>- Civil Engineers - Municipal Engineers -</div> <div>- Landscape Architects -</div> <div>- Planners - Environmentalists - Land Surveyors -</div> <div>96 US Highway 206, Suite 101</div> <div>Flanders, N.J. 07836 - 973.398.1776</div> <div>2430 Highway 34, Bldg. A Suite 1R</div> <div>Wall, N.J. 08736 - 732.282.1776</div> <div>EXCELLENCE • ECONOMY • ENVIRONMENT</div>		<div>PRELIMINARY AND FINAL MAJOR SITE PLAN FOR MARS INCORPORATED</div> <div>PROPOSED TRAILER PARKING LOT</div> <div>BLOCK 4, LOT</div> <div>TOWN OF HACKETTSTOWN</div> <div>COUNTY OF WARREN, STATE OF NEW JERSEY</div>		<div>PROJECT NUMBER</div> <div>SCE-8719.074</div> <div>SCALE:</div> <div>N.T.S.</div>	
<div>© COPYRIGHT 2019 SUBURBAN CONSULTING ENGINEERS, INC.™</div> <div>CERTIFICATE OF AUTHORIZATION NO. 24GE0307500</div> <div>ALL RIGHTS RESERVED</div>					<div>DESCRIPTION</div> <div>NO.</div> <div>DATE:</div> <div>BY:</div> <div>CHK:</div>		<div>DATE: 03/28/2019</div>		<div>CONSTRUCTION DETAILS I</div>		<div>SHEET 11 OF 14</div> <div>REVISION -</div>			



12" (TYP.) 6" (TYP.) 12" (TYP.)

12"

30" Ø PERFORATED WALLED HDPE (TYP.)

3/4" CLEAN STONE

BASIN OUTLET

INV.: 562.50

NOTE: FINISHED GRADE ELEVATION VARIES (SEE PLAN)

PAVED AREA ← → GRASS AREA

SEE PAVEMENT DETAIL

MIN. DEPTH PER MANUFACTURER RECOMMENDATION

6" TOPSOIL

EXCAVATED MATERIAL-STONES LESS THAN 6" DIA., DEPTH VARIES.

HAND PLACED SELECT BACKFILL

TAMPED SELECT BACKFILL

COMPACTED SELECT BACKFILL BEDDING 4"-6"

DENSE GRADED AGGREGATE

PIPE

PIPE DIA. + 6" MAX.

TRENCH BOTTOM FIRM, STABLE, UNIFORM & FREE OF PROTRUSIONS

-
- Technical drawing of a 10' x 6' Stormwater Filtration Unit (SFU) showing internal layout, components, and dimensions. The drawing includes the following labels and dimensions:
- Dimensions:**
 - Overall width: 10'-0"
 - Overall height: 6'-0"
 - Internal width (between side walls): 12'-0"
 - Internal height (between top and bottom walls): 10'-6"
 - Bottom wall thickness: 2'-0"
 - Components and Labels:**
 - TRANSFER HOLE COVER:** Located on the left side wall.
 - INLET BAY:** The entry point for water on the left side.
 - 90°:** Indicated at the inlet and outlet bays.
 - FLOW:** Arrows indicating the direction of water flow from left to right.
 - OUTLET BAY:** The exit point for water on the right side.
 - 90°:** Indicated at the outlet bay.
 - STORMFILTER CARTRIDGE:** A large cylindrical filter unit located in the center of the unit.
 - FILTRATION BAY:** The area containing the stormfilter cartridges.
 - PLUGGED CARTRIDGE TEE:** A component used to plug the cartridges.

FRAME AND COVER AND ACCESS HATCH CAST FLUSH IN TOP

STEP (TYP)

4'-6"

6'-3" MIN

HIGH FLOW BYPASS WEIR

TRANSFER HOLE TO FILTRATION BAY

FILTRATION BAY FLOOR

INLET BAY FLOOR

ELEVATION

GENERAL NOTES

1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. DIMENSIONS MARKED WITH (*) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
3. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE. www.contechES.com
4. STORMFILER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
5. STRUCTURE SHALL MEET ASHRAE 90.1-2010 LEED GOLD RATING. ASSUME EARTH COVER OF 0' - 5' AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACCORD TO GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.

INSTALLATION NOTES

A. ANY SUB-BASE, BACKFILL, DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.

B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE (LIFTING CLUTCHES PROVIDED).

C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL SECTIONS AND ASSEMBLE STRUCTURE.

D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH OUTLET PIPE INVERT WITH FLOOR.

E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.

F. CONTRACTOR TO REMOVE THE TRANSFER HOLE COVER WHEN THE SYSTEM IS BROUGHT ONLINE.

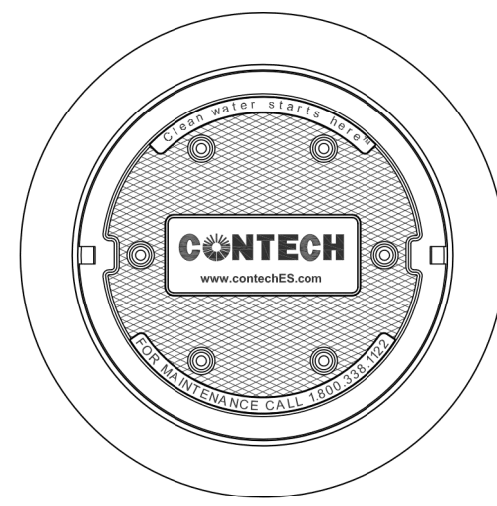


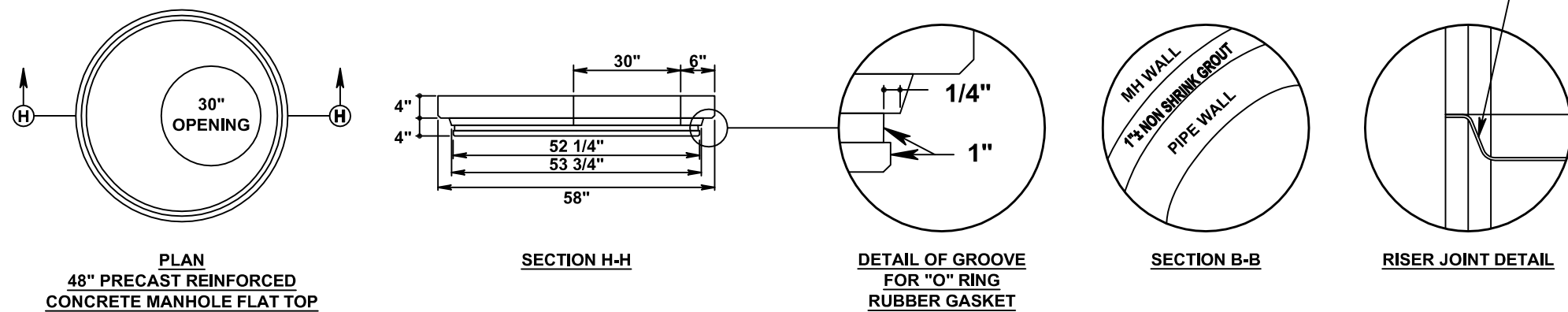
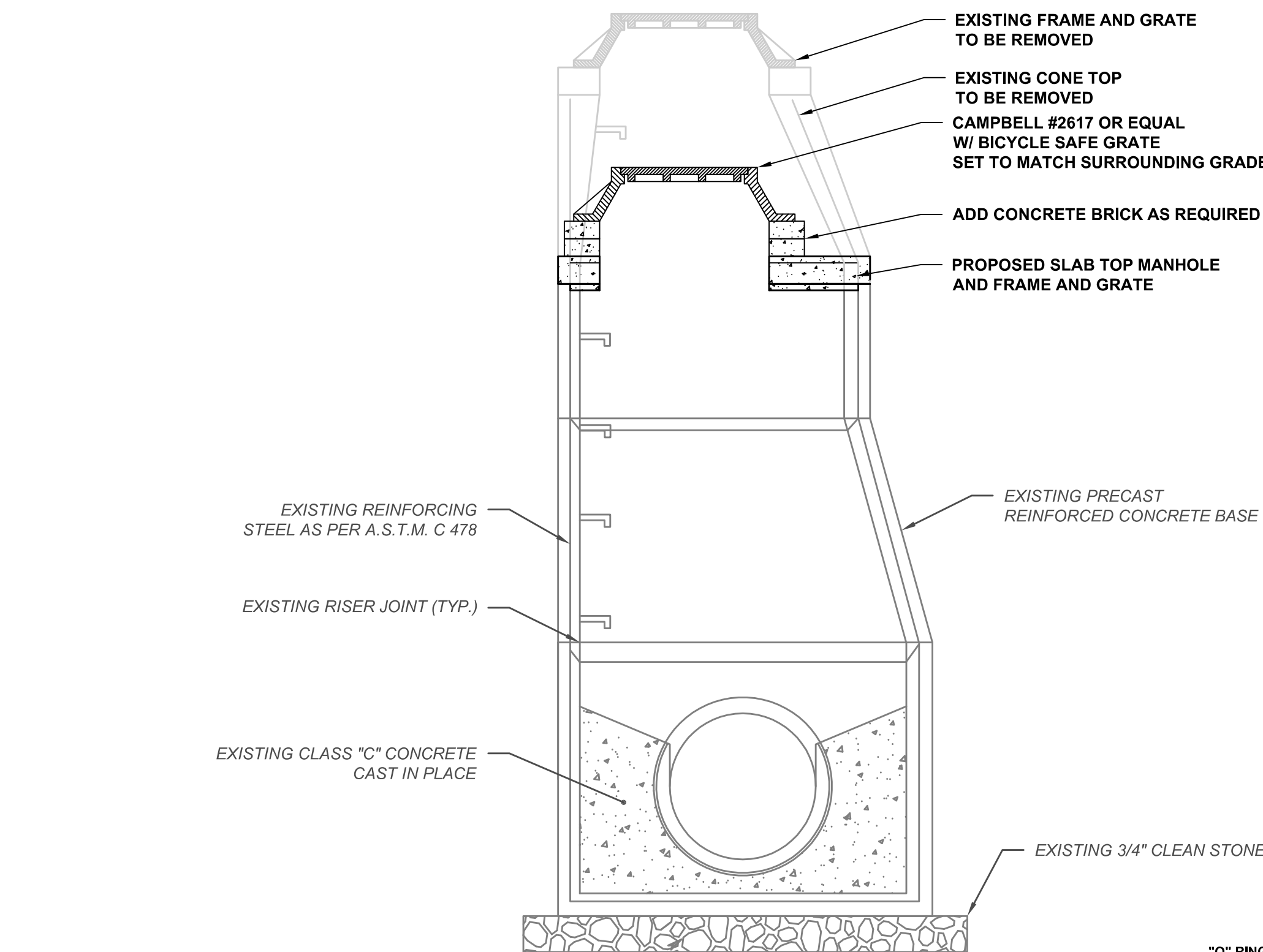
Diagram illustrating the construction of a two-stage manhole structure.

The structure consists of two stages, labeled STAGE 2 (top) and STAGE 2 (bottom).

Key dimensions and specifications:

- DEPTH OF INVERT TO BE 0.80 THE DIAMETER MAIN PIPE THROUGH THE INLET.
- FRAME AND TWO GRATES (top)
- VARIABLE (height)
- STAGE 2 (top)
- STAGE 2 (bottom)
- 10" (depth of bottom stage)
- 3'-6" (width)

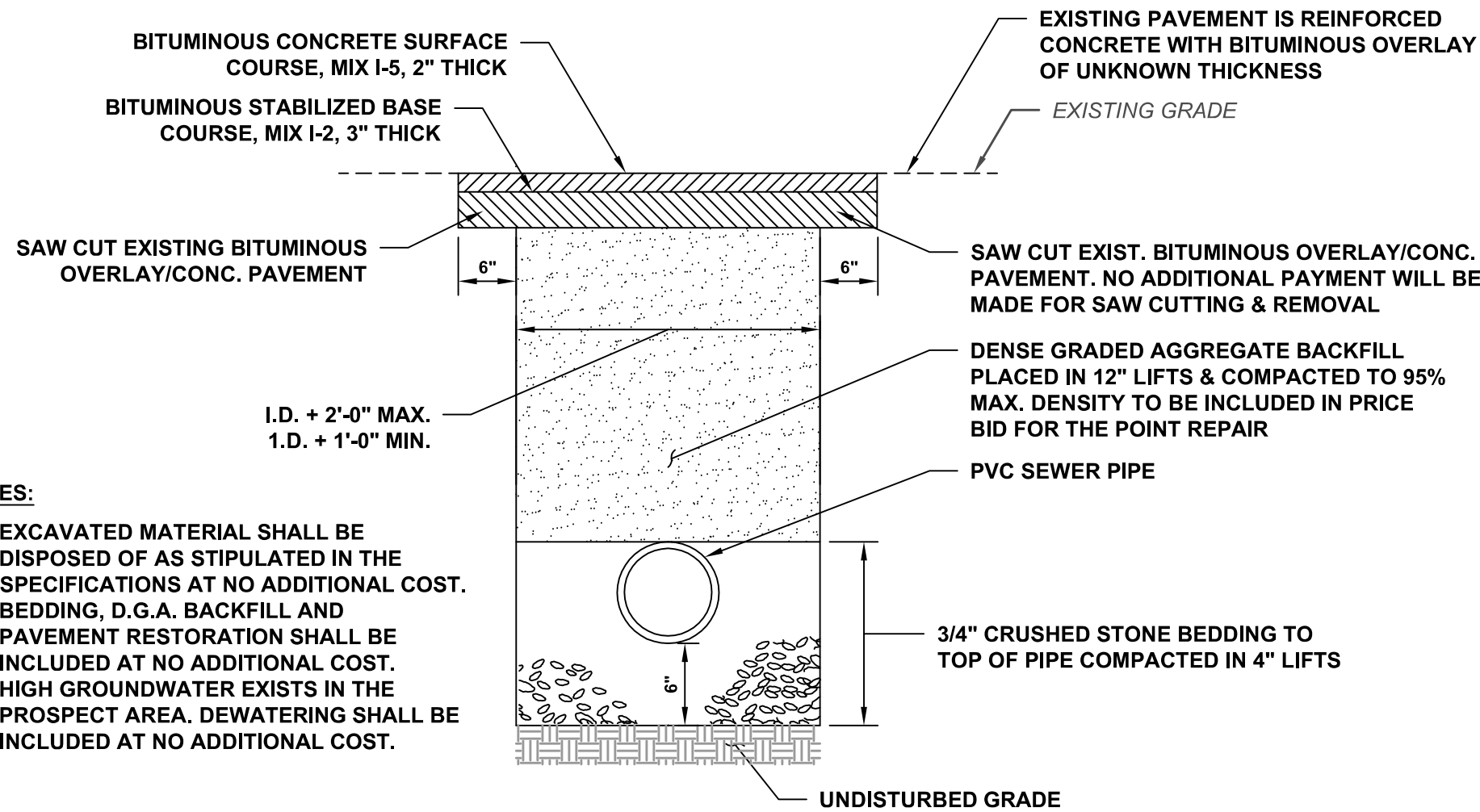
FOUNDATION AND INVERT TO BE CONSTRUCTED IN 2 STAGES. TOP SURFACE OF STAGE 1 TO BE LEFT ROUGH.



- MANHOLES MAY BE CONSTRUCTED OF BRICK, CONCRETE, CONCRETE BLOCK, OR PRECAST CONCRETE.
- WHEN THE DEPTH OF A MANHOLE EXCEEDS 10 FT. AS MEASURED FROM TOP OF COVER TO INVERT, WALLS OF BRICK, CONCRETE OR CONCRETE BLOCK BELOW A DEPTH OF 8 FT SHALL BE 12" THICK. THE OVERALL HORIZONTAL DIMENSIONS SHALL BE INCREASED 12" AND THE DEPTH OF THE FOUNDATION INCREASED TO 12". WHEN ROCK IS ENCOUNTERED, THE HORIZONTAL DIMENSION AND THE DEPTH OF THE FOUNDATION SHALL NOT BE INCREASED. THE THICKNESS OF PRECAST CONCRETE MANHOLE WALLS DOES NOT HAVE TO BE INCREASED IF THE DEPTH OF THE MANHOLE EXCEEDS 10 FT.
- CASTING OF PRECAST MANHOLES SHALL BE ADJUSTED TO GRADE WITH COURSES OF BRICK OR CONCRETE BLOCK, AS REQUIRED, 12" MAX.
- IN BRICK, CONCRETE, OR CONCRETE BLOCK MANHOLES, INVERTS SHALL BE CONSTRUCTED IN TWO STAGES.

RESET STORM/SANITARY MANHOLE DETAIL

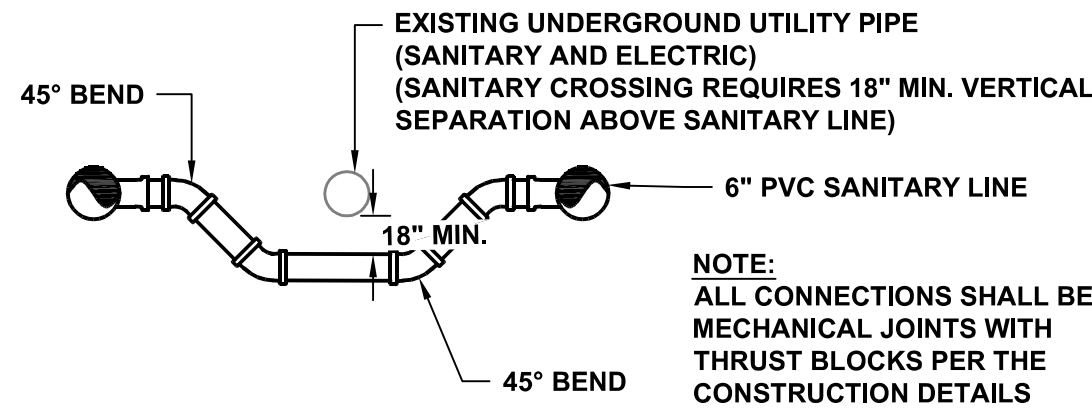
N.T.S.



- NOTES:
- EXCAVATED MATERIAL SHALL BE DISPOSED OF AS STIPULATED IN THE SPECIFICATIONS AT NO ADDITIONAL COST.
 - BEDDING, D.G.A. BACKFILL AND PAVEMENT RESTORATION SHALL BE INCLUDED AT NO ADDITIONAL COST.
 - HIGH GROUNDWATER EXISTS IN THE PROSPECT AREA. DEWATERING SHALL BE INCLUDED AT NO ADDITIONAL COST.

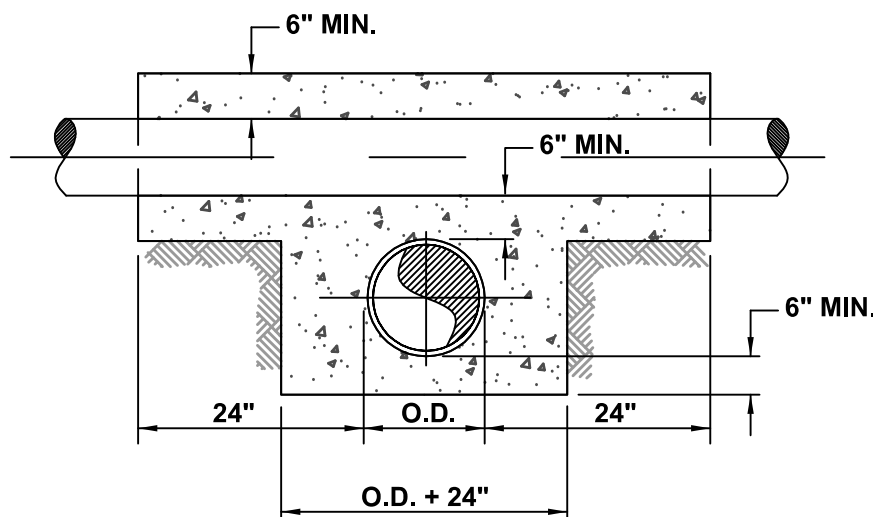
TYPICAL PVC SEWER PIPE TRENCH DETAIL

N.T.S.



TYPICAL UTILITY CROSSING

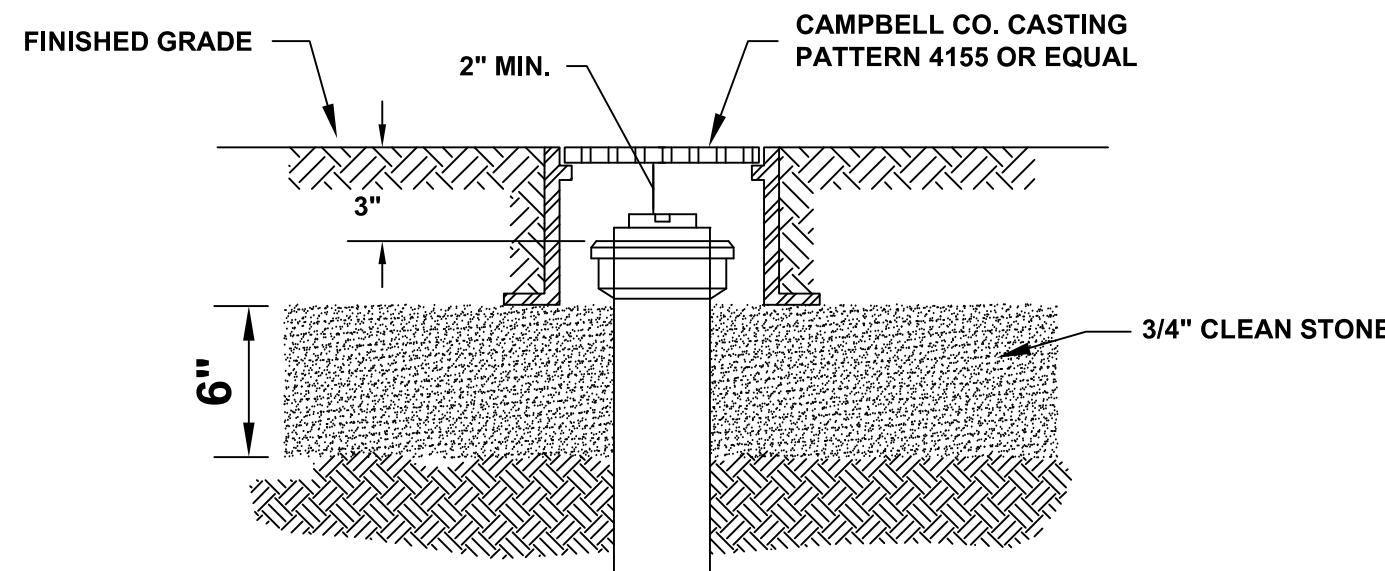
N.T.S.



- NOTES:
- ENCASEMENT OF LOWER PIPE TO BE CARRIED 24" IN EACH DIRECTION BEYOND THE WALLS OF THE UPPER CONDUIT.
 - THE ENCASEMENT SHOWN SHALL BE REQUIRED WHERE THE CLEARANCE BETWEEN PIPES IS LESS THAN 18"

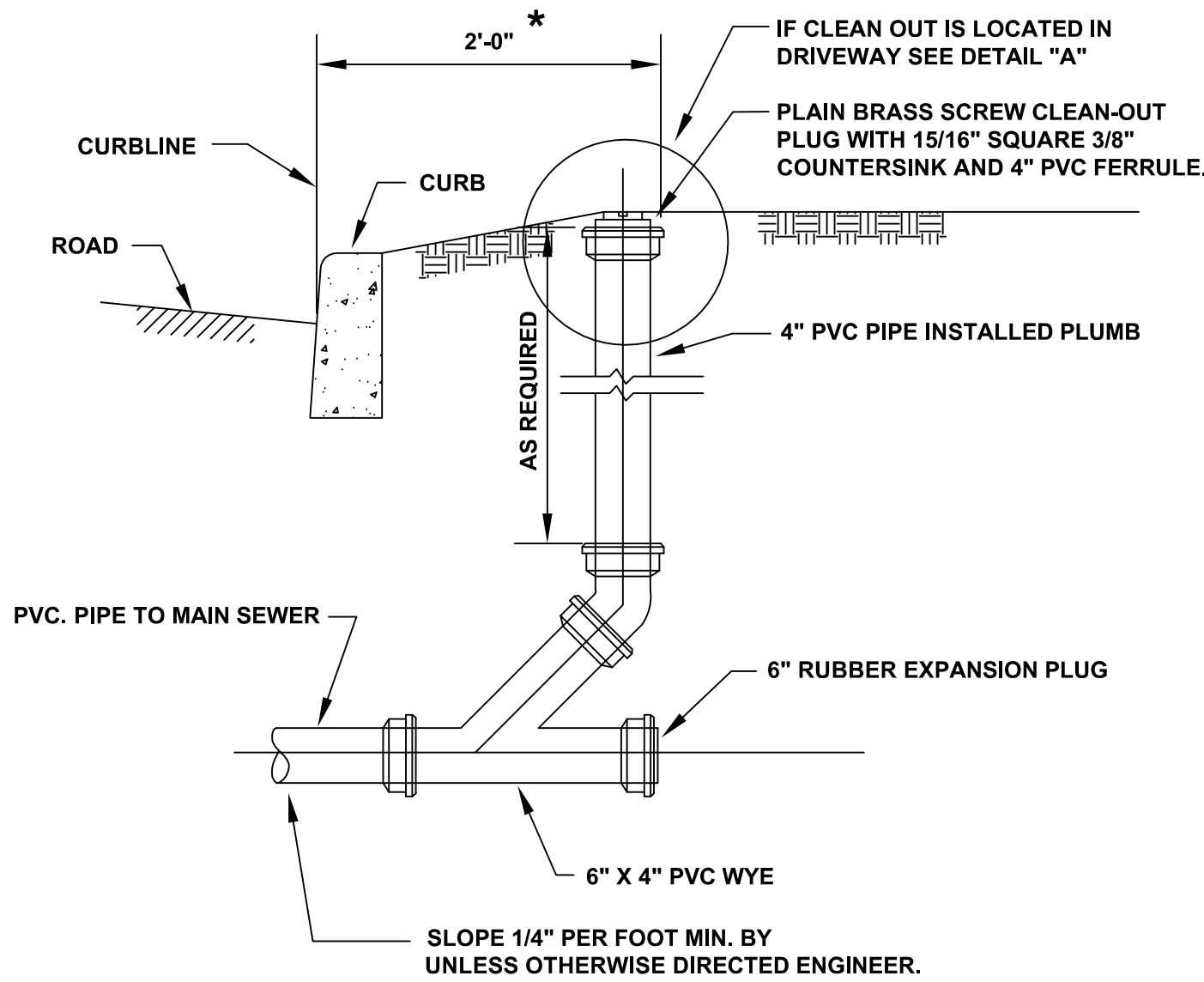
UTILITY CROSSING ENCASEMENT DETAIL

N.T.S.



DETAIL A

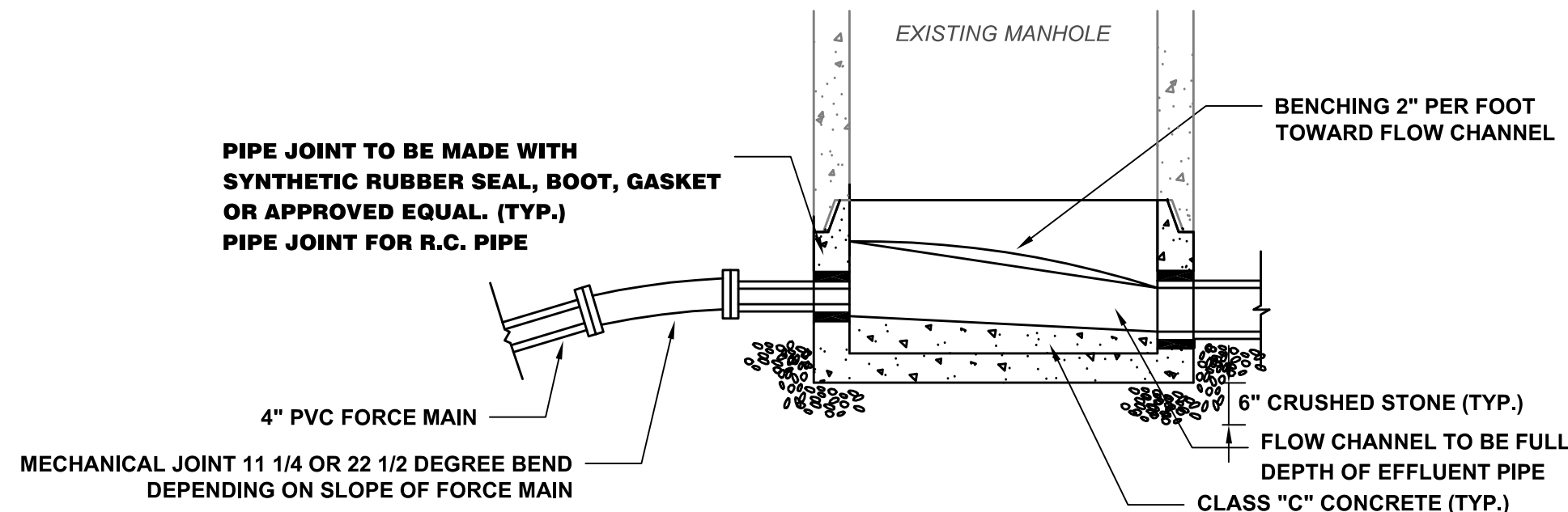
NOTE: IF CLEANOUT IS LOCATED IN DRIVEWAY THE CASTING IS REQUIRED.



PROFILE VIEW

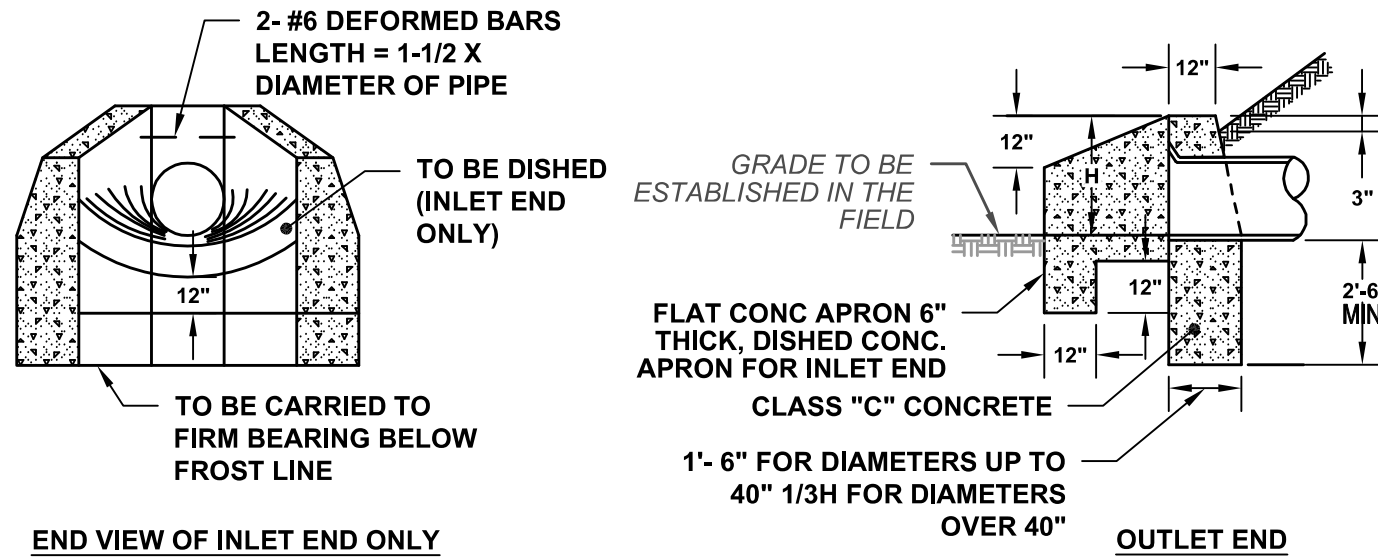
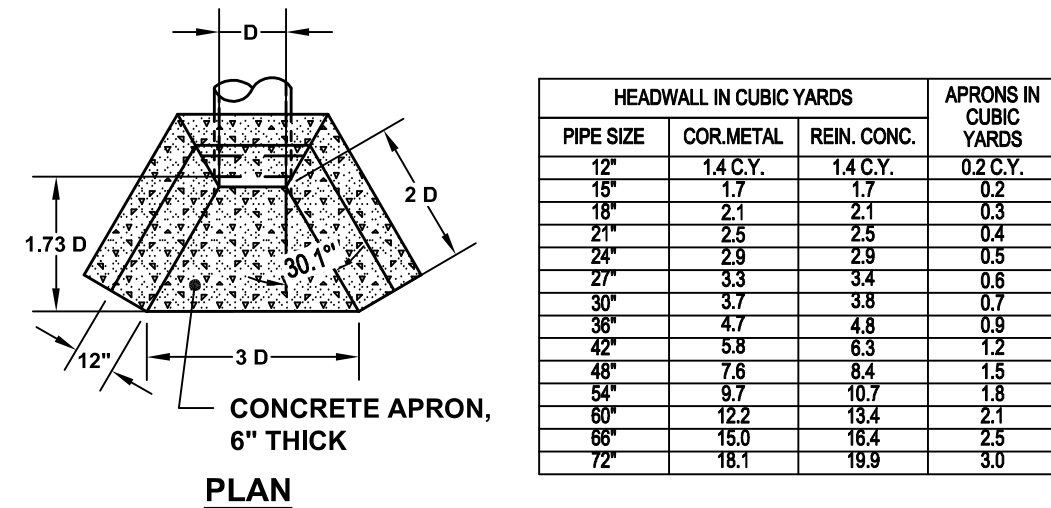
TYPICAL DETAIL OF CLEANOUT

N.T.S.



STANDARD FORCE MAIN CONNECTION TO MANHOLE

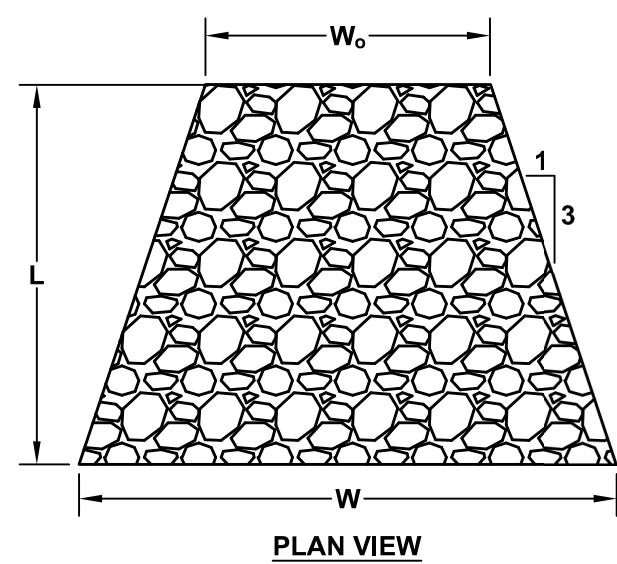
N.T.S.



- NOTES:
- ALL EDGES TO BE CHAMFERED 1".
 - CONCRETE TO BE N.J.D.O.T., CLASS "C".
 - APRONS TO BE 6" THICK TO CONCRETE, FLAT AT OUTLET END, DASHED AT INLET END.
 - EXPOSED PORTIONS OF WALL TO BE RUBBED AND FLOATED.
 - FOR ARCH PIPE, THE SPAN SHALL BE SUBSTITUTED FOR D.

CONCRETE HEADWALL

N.T.S.

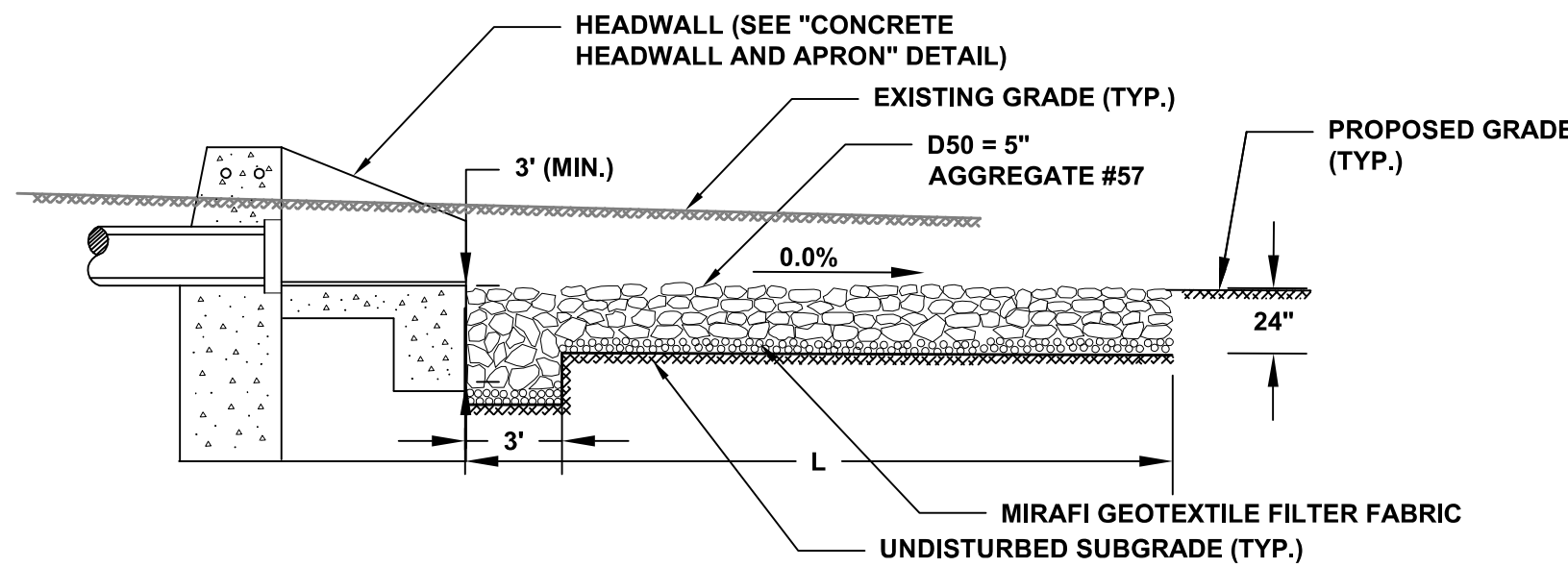


W ₀	4.5'
W	8.5'
L	6'

CALCULATION:

$$D_{50} = 0.2D \left(\frac{Q}{\sqrt{gD^{2.5}}} \right)^{\frac{1}{3}} \left(\frac{D}{TW} \right)$$

D = 1.5'
Q = 7.06 CFS
g = 32.2 FT/S
TW = 0.4D
D50 = 3.1" ± MINIMUM OF 5"
FOR D50 = 5", APRON LENGTH = 4D = 6'



RIPRAP APRON

N.T.S.

NOTICE				
THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED, OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SUBURBAN CONSULTING ENGINEERS, INC. PER N.J.A.C. ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL OR PAPER COPIES NOT CONTAINING A PASSES SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED.				
© COPYRIGHT 2014 SUBURBAN CONSULTING ENGINEERS, INC.™ CERTIFICATE OF AUTHORIZATION NO: 24GA28037500 ALL RIGHTS RESERVED				

DESCRIPTION	NO.	DATE:	BY:	CHK:
REVISIONS				

DRAWN BY: RHK 03/28/2019	CHECKED BY: EBA 03/28/2019
CHECKED BY:	

DAREN J. PHIL, PE
NJ PROFESSIONAL ENGINEER
LICENSE NO. 24GE03619100

DATE: 03/28/2019

SE SUBURBAN CONSULTING ENGINEERS, INC.
COA NO: 24GA28037500
21NH00004200

- Civil Engineers - Municipal Engineers -
- Landscape Architects -
- Planners - Environmentalists - Land Surveyors -

96 US Highway 206, Suite 101 2430 Highway 34, Bldg. A Suite 1R
Flanders, NJ, 07836 - 973.398.1776 Wall, NJ, 08736 - 732.282.1776

EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT

PRELIMINARY AND FINAL MAJOR SITE PLAN FOR MARS INCORPORATED PROPOSED TRAILER PARKING LOT BLOCK 4, LOT 1 TOWN OF HACKETTSTOWN COUNTY OF WARREN, STATE OF NEW JERSEY		PROJECT NUMBER: SCE-8719.074
CONSTRUCTION DETAILS III		SCALE: N.T.S.
		SHEET 13 OF 14
		REVISION _

