

CERTIFICATIONS / APPROVALS

MUNICIPALITY

THIS PLAN IS HEREBY APPROVED BY THE LAND USE BOARD OF THE TOWN OF HACKETTSTOWN, WARREN COUNTY, NEW JERSEY

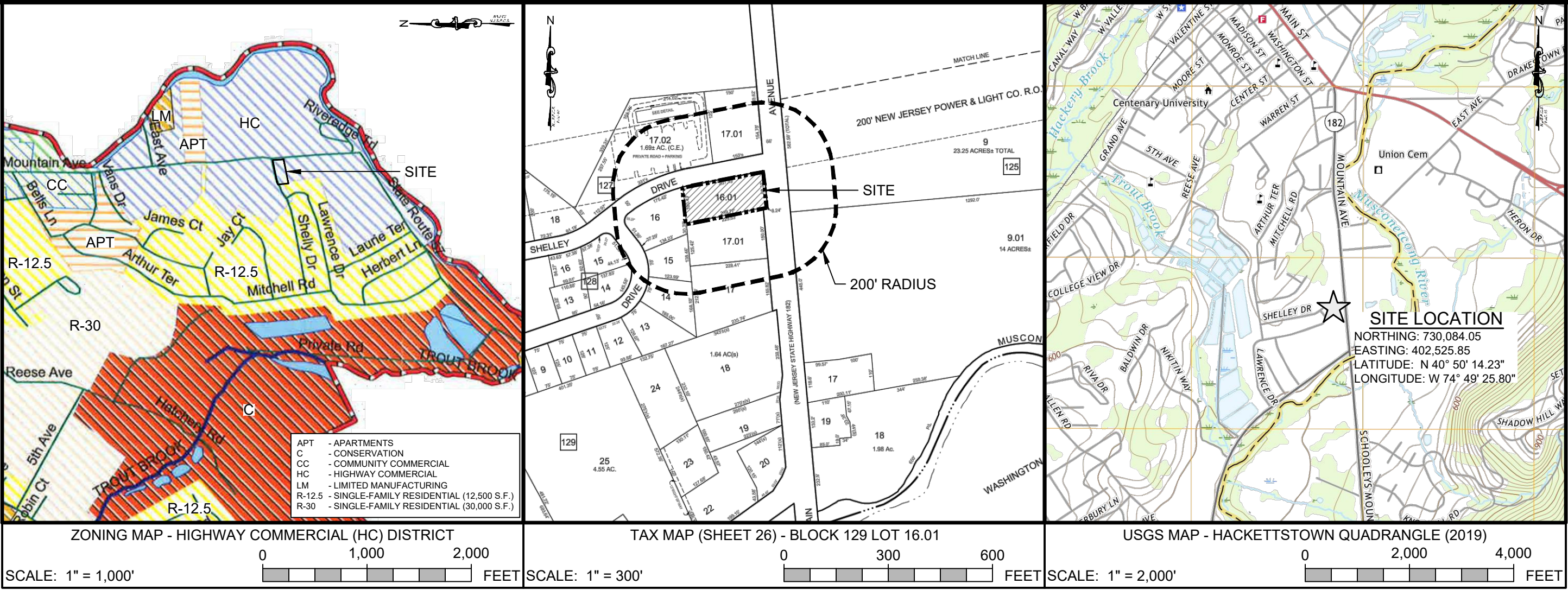
DATE BOARD CHAIRPERSON

DATE BOARD SECRETARY

DATE TOWN ENGINEER

I HEREBY CERTIFY THAT I AM THE PRESENT OWNER OF THE REFERENCED PROPERTY AND THAT I CONSENT TO THE FILING OF THIS MINOR SITE PLAN WITH THE LAND USE BOARD OF THE TOWN OF HACKETTSTOWN.

DATE OWNER SIGNATURE



SIGNAGE SCHEDULE (1)

	MAX AREA (SF)	EXISTING (SF)	PROPOSED (SF)
BUILDING MOUNTED (FRONT)	25 (2)	0	19.7 (3)
BUILDING MOUNTED (REAR)	25 (2)	0	6.7 (3)

- (1) SIGN CALCULATIONS PER SECTION 407G, OF THE TOWNSHIP LAND DEVELOPMENT CODE.  
(2) SIGN NOT TO EXCEED 5% OF BUILDING FACADE (504SF).  
(3) PROPOSED SIGNS TO BE BACKLIT. SEE ARCHITECTURAL PLANS FOR ADDITIONAL DETAILS.

GENERAL NOTES:

- OWNER/APPLICANT:  
MR. TOM SCHIANO  
MAM ENTERPRISES  
260 MOUNTAIN AVENUE  
HACKETTSTOWN, NEW JERSEY 07840
- BOUNDARY INFORMATION SHOWN HEREON WAS TAKEN FROM A PLAN ENTITLED "SURVEY OF PROPERTY LOT 16.01 BLOCK 129", PREPARED BY MORGAN ENGINEERING & SURVEYING, DATED APRIL 24, 2019.
- TOPOGRAPHY FROM SURVEY BY E&LP, DATED 9/8/2020. DATUM IS NAVD '88.
- THESE PLANS ARE NOT TO BE USED AS SURVEYS. REFER TO REFERENCE SOURCES FOR BOUNDARY AND TOPOGRAPHIC INFORMATION (NOTE # 2 ABOVE).
- ALL ELEVATIONS GIVEN ARE ON USGS DATUM.
- FOR ARCHITECTURAL FLOOR PLANS, ELEVATIONS, WALL MOUNTED SIGN DETAILS, AND ALL INTERIOR BUILDING DETAILS, SEE PLAN BY DONNELLY ARCHITECTURE, HACKETTSTOWN, NJ, DATED 7/17/2020.
- SEE ENGINEERING DETAIL SHEETS FOR ALL SITE DETAILS AND SUPPORTING NOTES.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND EACH DRAWING HAS BEEN MARKED "ISSUED FOR CONSTRUCTION."
- THE LOCATION, TYPE, LINE, SIZE, DEPTH, ETC. OF ALL EXISTING UTILITIES, ARE APPROXIMATE. LOCATION OF SERVICE LATERALS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND AT HIS OWN EXPENSE PRIOR TO THE START OF CONSTRUCTION.

MINOR SITE PLAN  
HACKETTSTOWN CAR WASH

BLOCK 129 LOT 16.01  
TOWN OF HACKETTSTOWN, WARREN COUNTY, NEW JERSEY

PREPARED BY  
ENGINEERING & LAND PLANNING ASSOCIATES, INC.  
140 WEST MAIN STREET, HIGH BRIDGE, NEW JERSEY 08829

ADDITIONAL PARTIES TO BE NOTIFIED

HACKETTSTOWN MUNICIPAL UTILITY AUTHORITY  
PO BOX 450  
HURLEY DRIVE  
HACKETTSTOWN, NJ 07840

COMCAST CABLEVISION  
155 PORT MURRAY ROAD  
PORT MURRAY, NJ 07865

VERIZON-NEW JERSEY, INC.  
ATTN: MIKE DEDIO  
900 CLINTON AVENUE, FLOOR 2  
IRVINGTON, NJ 07111

GPU ENERGY  
300 MADISON AVENUE  
MORRISTOWN, NJ 07962

ELIZABETH GAS COMPANY  
520 GREEN LANE  
UNION, NJ 07083

PLAN INDEX

SHEET NO.	TITLE
1	COVER SHEET
2	SITE AND GRADING PLAN
3-4	CONSTRUCTION DETAILS

OUTSIDE AGENCY APPROVALS

- WARREN COUNTY PLANNING BOARD
- WARREN COUNTY SOIL CONSERVATION DISTRICT
- NEW JERSEY DEPARTMENT OF TRANSPORTATION  
STATE HIGHWAY ACCESS - LETTER OF NO INTEREST (LOI)

CERTIFIED PROPERTY OWNERS

(WITHIN 200 FEET OF SUBJECT PROPERTY)  
\* NOTICE TO BE SERVED FROM CERTIFIED LIST OBTAINED FROM THE TOWN

BLOCK	LOT	NAME / ADDRESS	BLOCK	LOT	NAME / ADDRESS
125	9	HACKETTSTOWN INTERSTATE, LLC ATTN: L. MARTINS 210 ROUTE 4 EAST PARAMUS, NJ 07652	127	17.029	BODHI PROPERTIES, LLC 211 JOHNSONBURG ROAD ANDOVER, NJ 07821
125	9.01	LIONS GATE AT MUSCONETCONG RIVER, LLC 23 WEST SHORE TRAIL SPARTA, NJ 07871	127	17.0210	PHILIP KUSHNER ASSOCIATES PO BOX 151 CEDAR KNOLLS, NJ 07927
127	17.01	MAM ENTERPRISES, LLC C/O MAMA'S CAFE 260 MOUNTAIN AVENUE HACKETTSTOWN, NJ 07840	127	17.0211	PHILIP KUSHNER ASSOCIATES PO BOX 151 CEDAR KNOLLS, NJ 07927
127	17.021	STEPHEN S. KO PO BOX 397 MENDHAM, NJ 07945	127	17.0213	PHILIP KUSHNER ASSOCIATES PO BOX 151 CEDAR KNOLLS, NJ 07927
127	17.022	STEPHEN T. DEEHAN, DMD PA 121 SHELLEY DRIVE, UNIT 1E HACKETTSTOWN, NJ 07840	128	15	HAROLD & BONNIE RUESCH 28 SHELLEY DRIVE HACKETTSTOWN, NJ 07840
127	17.023	LEONG H. & LIAN H. TAN PO BOX 7205 HACKETTSTOWN, NJ 07840	129	14	LUCAS ZIOBRO 74 LAWRENCE DRIVE HACKETTSTOWN, NJ 07840
127	17.024	LEONG H. & LIAN H. TAN PO BOX 7205 HACKETTSTOWN, NJ 07840	129	15	SUSAN M. LECHER 76 LAWRENCE DRIVE HACKETTSTOWN, NJ 07840
127	17.025	ALM HOLDINGS, LLC 8 BROOKSIDE LANE MOUNT ARLINGTON, NJ 07856	129	16	JOSE & LILLIAN DE LEON 30 SHELLEY DRIVE HACKETTSTOWN, NJ 07840
127	17.026	PHILIP KUSHNER ASSOCIATES PO BOX 151 CEDAR KNOLLS, NJ 07927	129	16.01	LTCW, LLC 260 MOUNTAIN AVENUE HACKETTSTOWN, NJ 07840
127	17.027	PHILIP KUSHNER ASSOCIATES PO BOX 151 CEDAR KNOLLS, NJ 07927	129	17	PRIM ACRES PO BOX 1498 COLUMBUS, OH 43216
127	17.028	PHILIP KUSHNER ASSOCIATES PO BOX 151 CEDAR KNOLLS, NJ 07927	129	17.01	SIC PROPERTY, LLC 5200 TOWN CENTER, SUITE 400 BOCA RATON, FL 33486

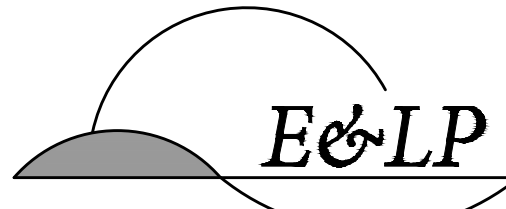
TOWN OF HACKETTSTOWN ZONING REQUIREMENTS			
ITEM	REQUIRED	EXISTING	PROPOSED
ZONING DISTRICT	HC (HIGHWAY COMMERCIAL)		
MIN. LOT AREA (S.F.)	15,000 SF	23,535 SF	23,535 SF
MIN. LOT FRONTAGE (FT)	100 FT	237.11 FT	237.11 FT
MIN. LOT WIDTH (FT)	100 FT	237.03 FT	237.03 FT
MIN. LOT DEPTH (FT)	120 FT	237.22 FT	237.22 FT
BUILDING SETBACKS FOR PRINCIPAL STRUCTURE			
FRONT YARD SETBACK (FT)	40 FT	44.10 FT	44.10 FT (I)
SIDE YARD SETBACK (FT)	20 FT	24.11 FT	24.11 FT
REAR YARD SETBACK (FT)	25 FT	52.77 FT	52.77 FT
MAX. LOT COVERAGE (%)	70%	91.8% (ENC)	92.0% (V)
MAX. BUILDING HEIGHT (STORY)	2.5 STORIES	1 STORY	1 STORY
MAX. FLOOR AREA RATIO	0.25	0.17	0.17

(V) INDICATES THAT A VARIANCE IS REQUIRED  
(ENC) INDICATES AN EXISTING NON-CONFORMING CONDITION  
(I) MEASURED TO SHELLEY DRIVE RIGHT OF WAY.

NOTE:

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140 WEST MAIN STREET HIGH BRIDGE, NJ 08829  
PH. 908-238-0544 FAX. 908-238-9572  
A PROFESSIONAL ASSOCIATION  
CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2022

NO.	REVISION	BY	DATE

02/24/2021  
DATE

JOHN E. HANSEN  
PROFESSIONAL ENGINEER  
N.J. P.E. NO. 24GE04194500

PROJECT:  
  
300 MOUNTAIN AVENUE  
BLOCK 129 LOT 16.01  
TOWN OF HACKETTSTOWN

WARREN COUNTY NEW JERSEY

TITLE:

COVER SHEET

JOB NO.:	0120309	DRAWING NO.:	1 4
SCALE:	N.T.S.	DESIGNED:	
CHECKED:	AA	CHECKED:	
FILENAME:	COVER.DWG	FILENAME:	
DATE:	02/24/2021	DATE:	



LANDSCAPING NOTES

- ALL PLANT MATERIALS SHALL BE OF NURSERY STOCK AND SHALL BE OF SYMMETRICAL GROWTH, FREE OF INSECTS, PESTS AND DISEASE. THE OWNER OR HIS REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND APPROVE ALL PLANT MATERIALS AND REJECT ANY PLANTS FOUND TO BE UNACCEPTABLE.
- COORDINATE ALL TREE LOCATIONS WITH SITE LIGHTING AND DRAINAGE STRUCTURES. ALL PLANTINGS TO BE KEPT 8' AWAY FROM ANY DRAINAGE STRUCTURE.
- DAMAGE TO EXISTING OR NEW WORK BY CONTRACTOR SHALL BE REPAIRED AT HIS EXPENSE.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO THE SUBMISSION OF BIDS.
- REFER TO MECHANICAL AND SITE DRAWINGS FOR UTILITY INFORMATION. CONTRACTOR SHALL VERIFY PLANT LIST QUANTITIES INDICATED ON PLANS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN QUANTITIES PRIOR TO SUBMISSION OF BIDS.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY WITH REGARDS TO THE CARTING, STORING AND PLANTING OF MATERIALS TO PROTECT ADJACENT PAVEMENT AREAS.
- PLANT MATERIALS SHALL BE MAINTAINED BEFORE, DURING AND AFTER IN THE BEST HORTICULTURAL CONDITION. CONTRACTOR SHALL PRUNE ALL DEAD OR DISEASED LIMBS, BRANCHES AND CANES FROM EXISTING DECIDUOUS AND CONIFEROUS TREES. METHODS SHALL REFLECT BEST HORTICULTURAL PRACTICES AS OUTLINED IN THE AMERICAN NURSERYMEN ASSOCIATION CERTIFICATION AND STANDARDS LATEST EDITION.

- THE CONTRACTOR SHALL ENSURE THAT ALL PLANT MATERIALS SHALL ARRIVE AT THE SITE WITH ROOT BALL AND BURLAP INTACT.
- THE CONTRACTOR SHALL PRUNE ALL NEW MATERIAL REMOVING APPROXIMATELY ONE-THIRD OF THE GROWTH AND REMOVE ALL DEAD AND BROKEN CANES AND BRANCHES. GRADE NEW PLANTING AREAS TO MAINTAIN THE EXISTING DRAINAGE PATTERN.
- ALL TOPSOIL SHALL BE PER PADEP REQUIREMENTS. SEE NOTES ON E&S PLAN.
- THE CONTRACTOR SHALL INSTALL ALL PLANT MATERIALS PER THE PLANTING DETAILS.
- THE CONTRACTOR SHALL REPLACE ANY PLANT MATERIALS WITHIN ONE GROWING SEASON FOR PLANT MATERIALS THAT ARE NO LONGER VIABLE
- ALL PLANT HOLES SHALL BE BACKFILLED WITH A MIXTURE OF 3 PARTS TOPSOIL TO 1 PART PEATMOSS UNLESS SPECIFIED ON PLAN ALL PLANTING BEDS TO BE MULCHED WITH 4 INCHES CLEAN FRESH SHREADED HARDWOOD BARK, FREE OF STICKS, LEAVES AND OTHER FOREIGN MATERIALS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE HORTICULTURAL STANDARDS AS SET FORTH BY THE AMERICAN NURSERYMEN AND LANDSCAPING ASSOCIATION (ANLA 2000). CONTRACTOR SHALL REMOVE ALL NON-BIODEGRADABLE ROOT WRAPPING PRIOR TO PLANTING.
- TOPSOIL AND SEED ALL DISTURBED AREAS AS A RESULT OF ANY AND ALL CONSTRUCTION OR AREAS OF EQUIPMENT STORAGE EQUIPMENT. CONTRACTOR SHALL FIELD VERIFY AREAS OF SEEDING. PROVIDE TOPSOIL TO 6" DEPTH IN ALL LAWN AREA AND 20" DEPTH IN SHRUB BEDS AND GARDEN.
- ALL REMAINING DISTURBED AREAS SHALL BE SEEDED UNLESS NOTED OTHERWISE. SEE SEEDING PREPARATION NOTES. ALL LAWN AREAS TO BE FERTILIZED PRIOR TO FINAL SEEDING WITH A 10-6-4 FERTILIZER AT THE RATE OF 20 LBS/1000 SF. IN TWO APPLICATIONS.

LANDSCAPING SCHEDULE						
SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	SPACING	MATURE HEIGHT
IG	12	GEM BOX INK BERRY	ILEX GLABRA 'SMINGAB17' GEM BOX	#3 / 3 GAL.	AS SHOWN	3 FT.
IV	2	'HENRY'S GARNET' VIRGINIA SWEETSPICE	ITEA VIRGINICA 'HENRY'S GARNET'	#5 / 5 GAL.	AS SHOWN	4 FT.

---	PROPERTY LINE
---	SETBACK LINE
---	EXISTING EDGE OF PAVEMENT
---	PROPOSED EDGE OF PAVEMENT
---	SAWCUT LINE
---	PROPOSED STRIPING
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
FF: ###.##	FINISHED FLOOR ELEVATION
ES ###.##	EXISTING SURFACE GRADE
FS ###.##	PROPOSED FINISHED SURFACE GRADE

NOTES:

- ALL CURBING TO BE 6" UNLESS OTHERWISE SPECIFIED.
- PROPOSED PARKING TO COMPLY WITH ALL ADA REQUIREMENTS.
- WALL MOUNTED VENDING MACHINES ON NORTH FACE OF BUILDING TO BE RELOCATED AS NECESSARY TO ACCOMMODATE PROPOSED VACUUM STATIONS. THE ENTIRE PARKING LOT IS TO BE REPAVED.
- ALL SOLID WASTE & RECYCLABLES TO BE STORED INSIDE BUILDING & REMOVED BY A PRIVATE HAULER.
- ALL BUILDING MOUNTED LIGHTING TO REMAIN.
- EXISTING SIGN PANEL IN FREE STANDING SIGN TO BE REPLACED WITH NEW PANEL OF SAME DIMENSIONS. SEE ARCHITECTURAL PLANS FOR ALL SIGN DETAILS.

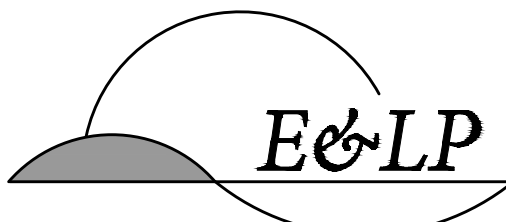
REFERENCES:

- THIS PLAN REFERENCES A SURVEY ENTITLED "TOPOGRAPHIC SURVEY", BY ENGINEERING AND LAND PLANNING ASSOCIATES, INC., DATED 09/08/20.

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140 WEST MAIN STREET  
PH. 908-238-0544  
A PROFESSIONAL ASSOCIATION  
CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2022

HIGH BRIDGE, NJ 08829  
FAX. 908-238-9572

NO.	REVISION	BY	DATE
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02/24/2021  
DATE  
JOHN E. HANSEN  
PROFESSIONAL ENGINEER  
N.J. P.E. NO. 24GE04194500

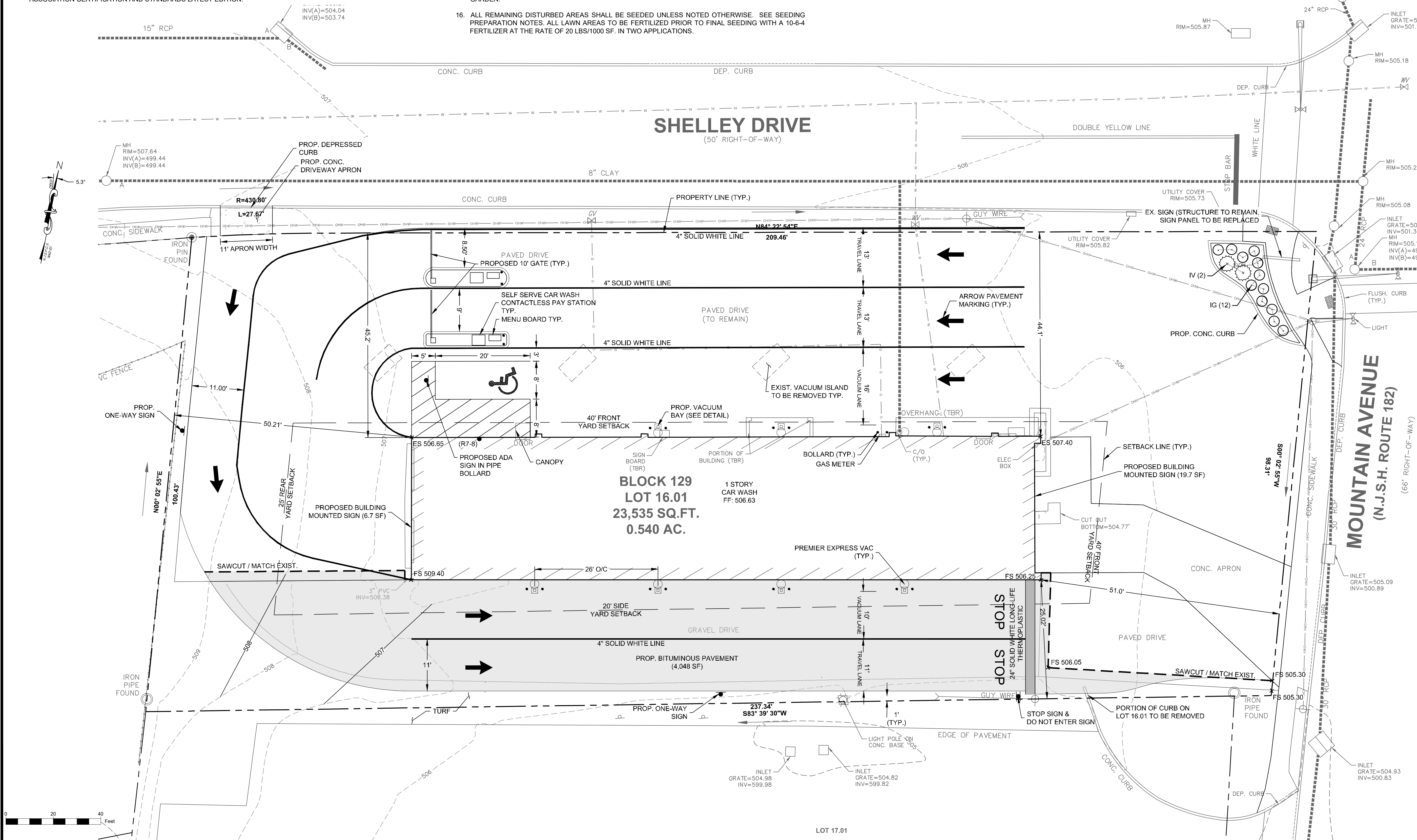
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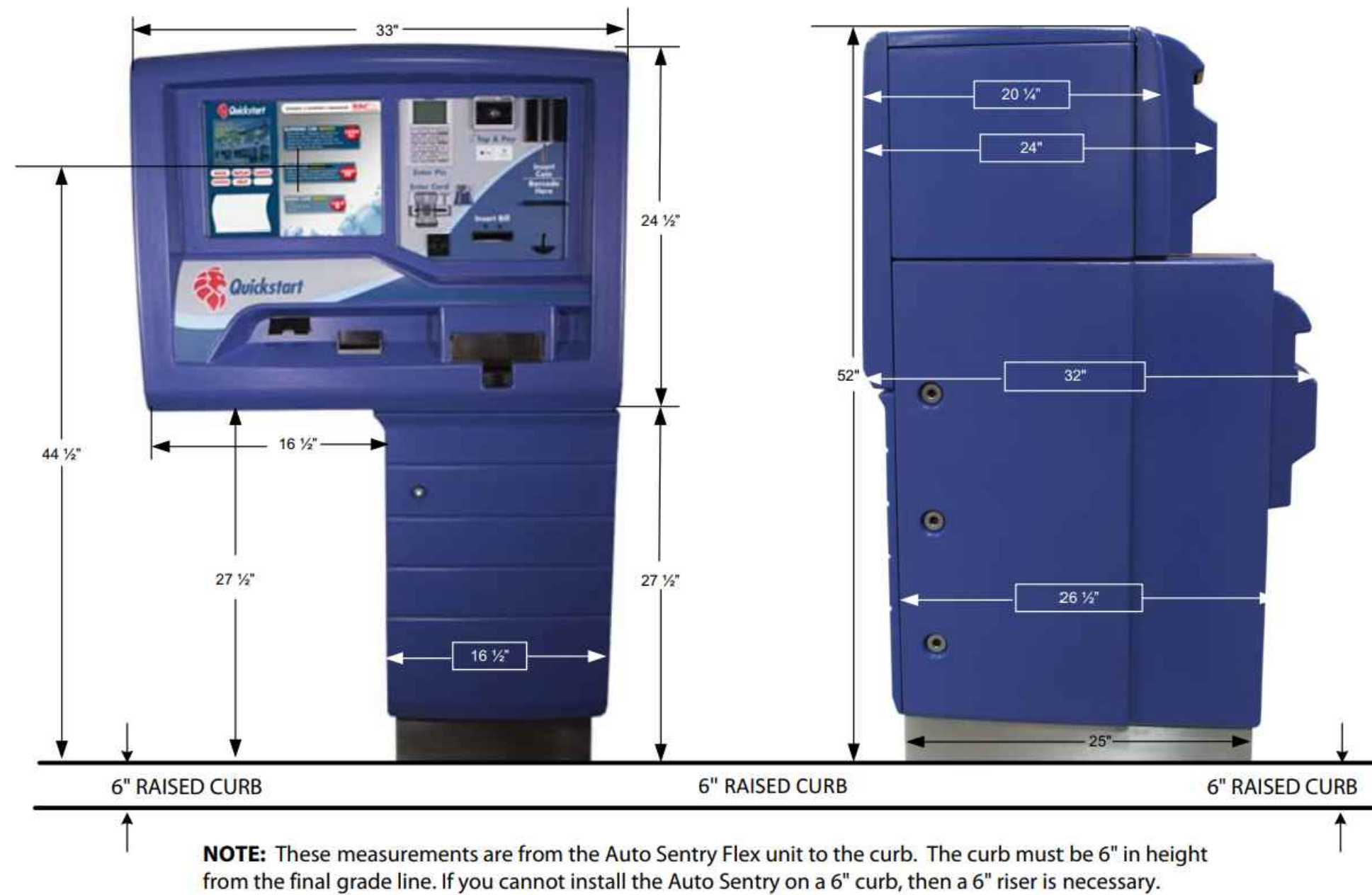
TITLE:

SITE AND  
GRADING PLAN

JOB NO.:	0120309	DRAWING NO.:	2 4
SCALE:	1" = 10'		
DESIGNED:	AA		
CHECKED:	ADR		
FILENAME:	SITE.DWG		
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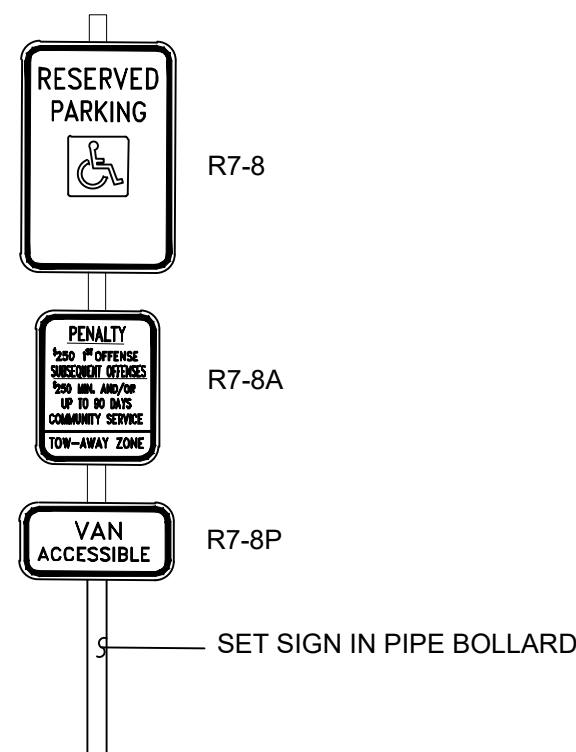


1 PAY STATION DETAIL

NTS

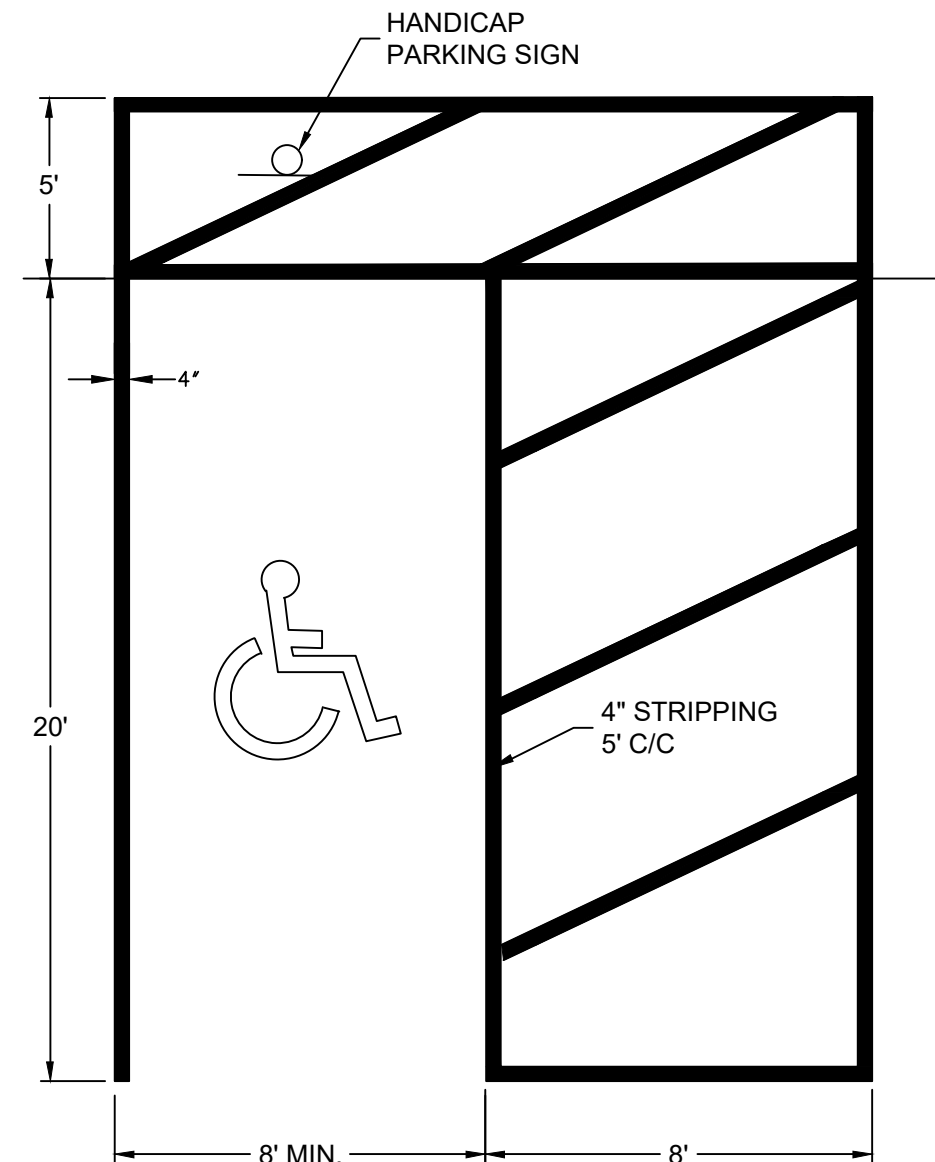
2 HANDICAP PARKING SIGN DETAIL

NTS



3 HANDICAP PARKING STALL

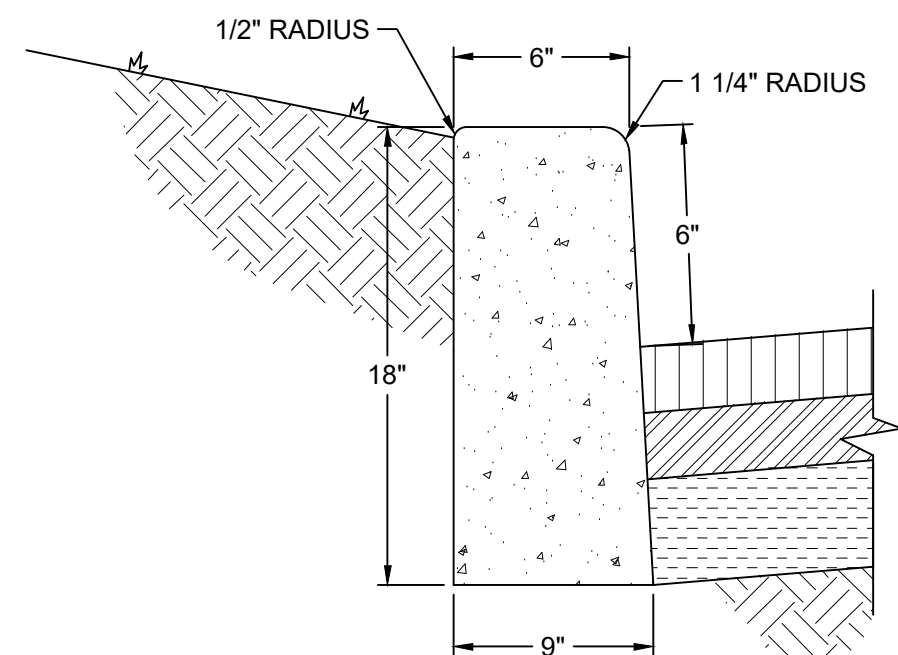
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- NOTES:
- SEE PLAN FOR PARKING SPACE DIMENSIONS AND LOCATION.
  - HANDICAP PARKING SYMBOL AND STRIPPING COLOR PER LOCAL REQUIREMENTS.

4 CONCRETE CURB DETAIL

NTS



- NOTES:
- TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN CURB 20'-0" APART & SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER, COMPLYING WITH THE REQUIREMENTS OF ASTM D 1751-83, RECESSED 1/4" IN FROM THE FRONT FACE AND TOP OF CURB.
  - CONTRACTION JOINTS SHALL BE PROVIDED EVERY 10 FEET.

5 MENU BOARD DETAIL

NTS

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**E&LP**

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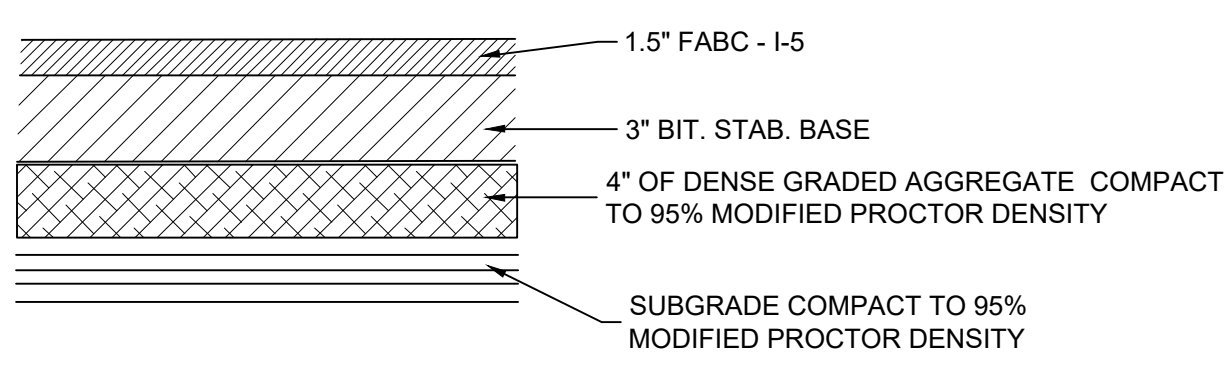
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CONSTRUCTION DETAILS

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DESIGNED:	AA		
CHECKED:	ADR		
FILENAME:	DETAILS.DWG		
DATE:	02/24/2021		4

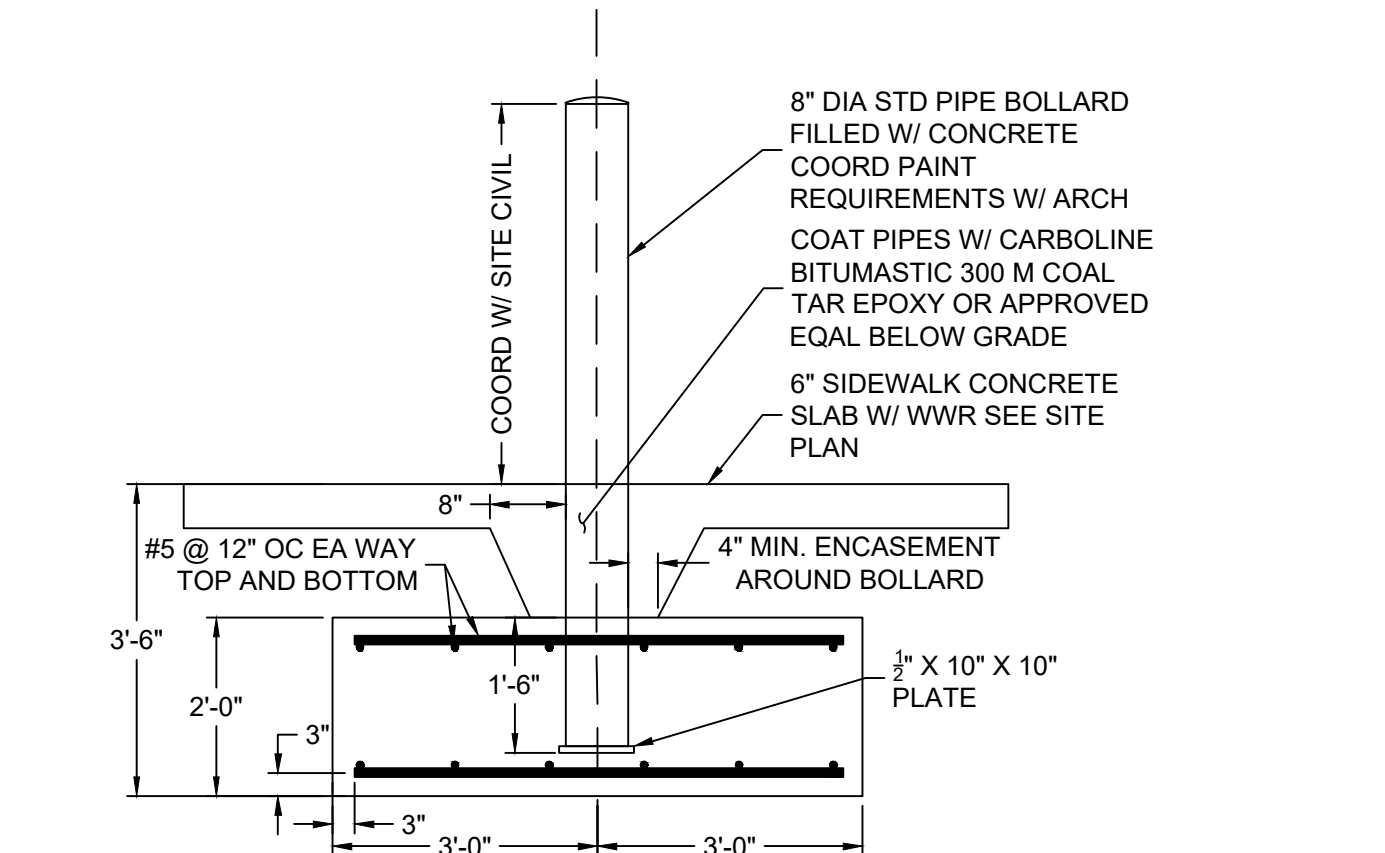
6 PAVING DETAIL

NTS



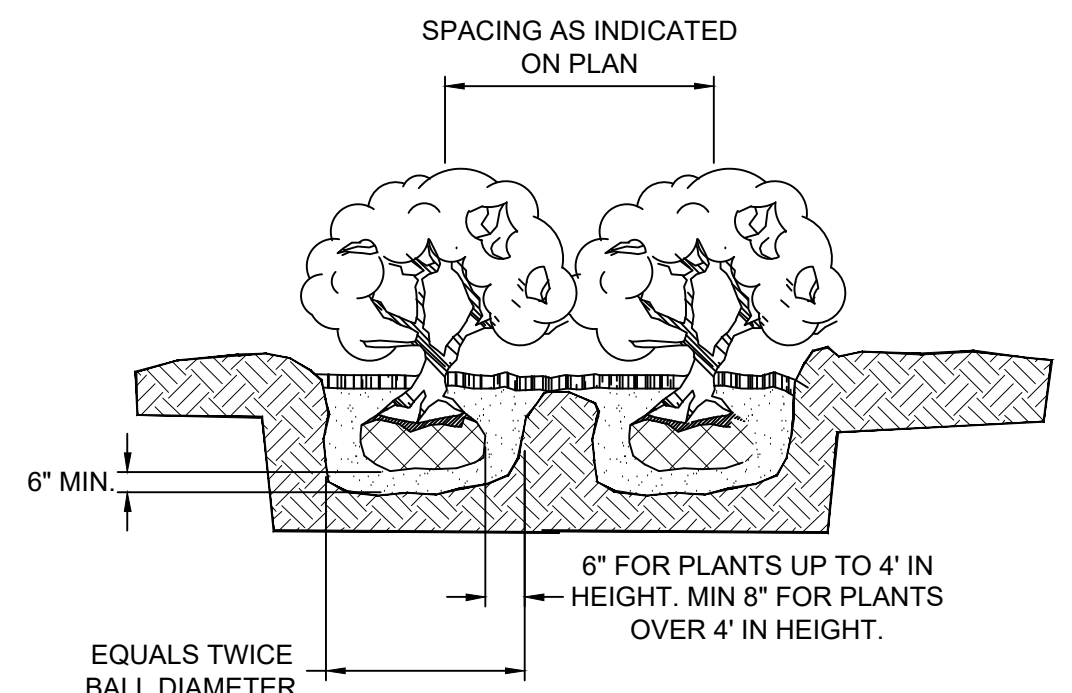
7 BOLLARD DETAIL

NTS



8 SHRUB PLANTING DETAIL

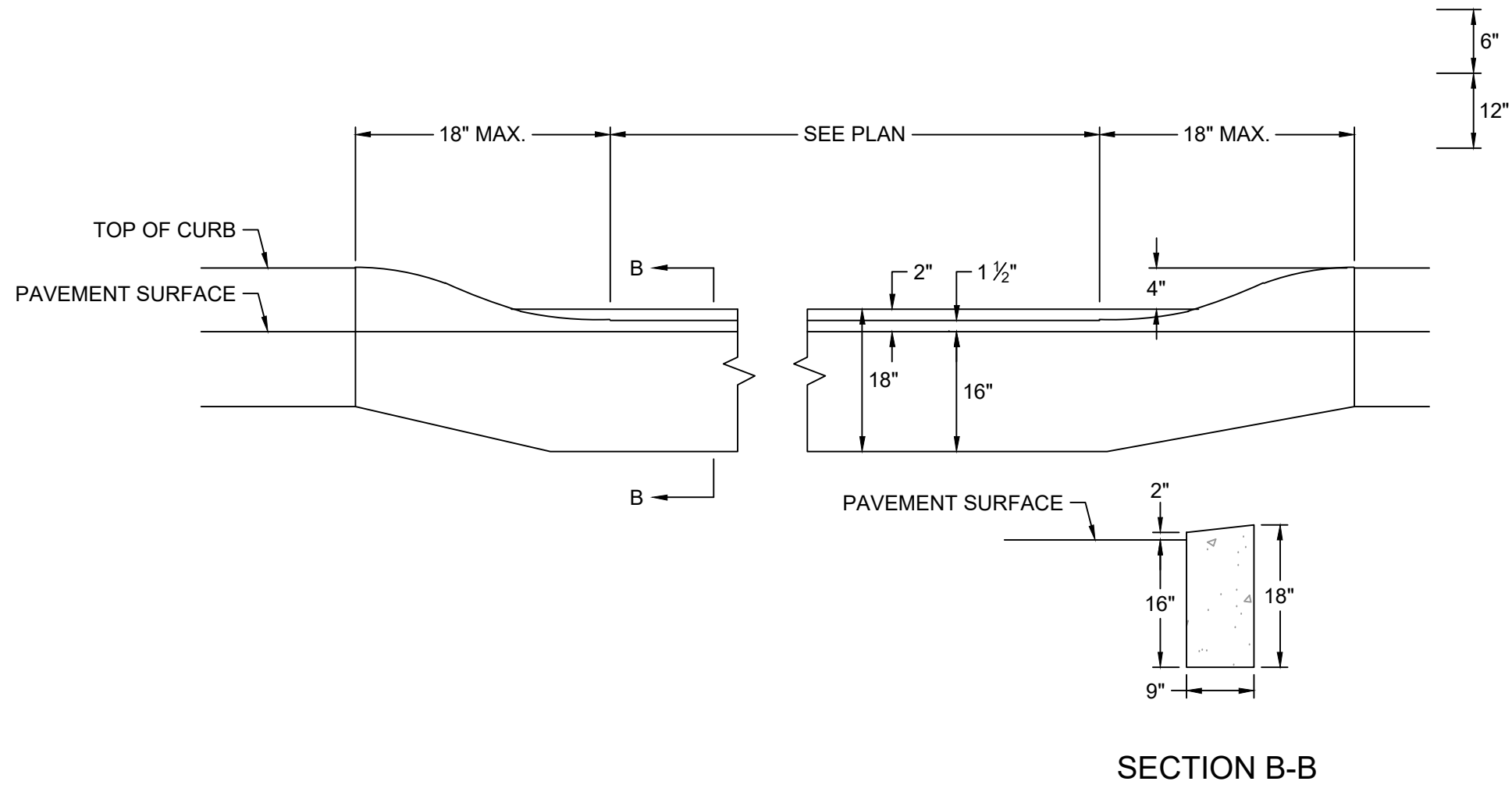
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- NOTE: ALL SOD SHALL BE STRIPPED A MIN. OF 1 FOOT FROM THE EDGE OF THE SHRUB BALL AND THE AREA COVERED WITH MULCH.

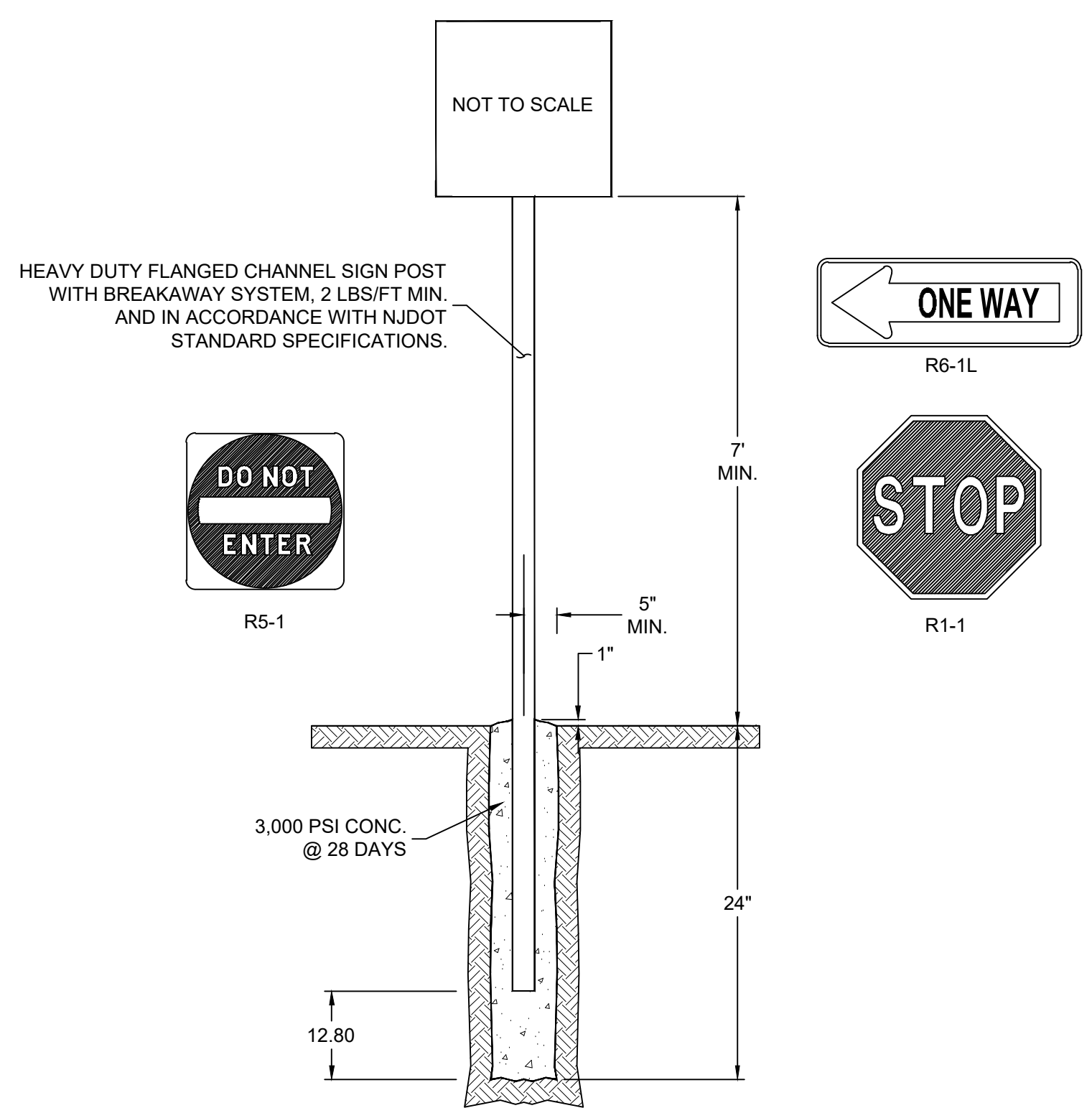
11 METHOD OF DEPRESSING CURB AT DRIVEWAYS

NTS



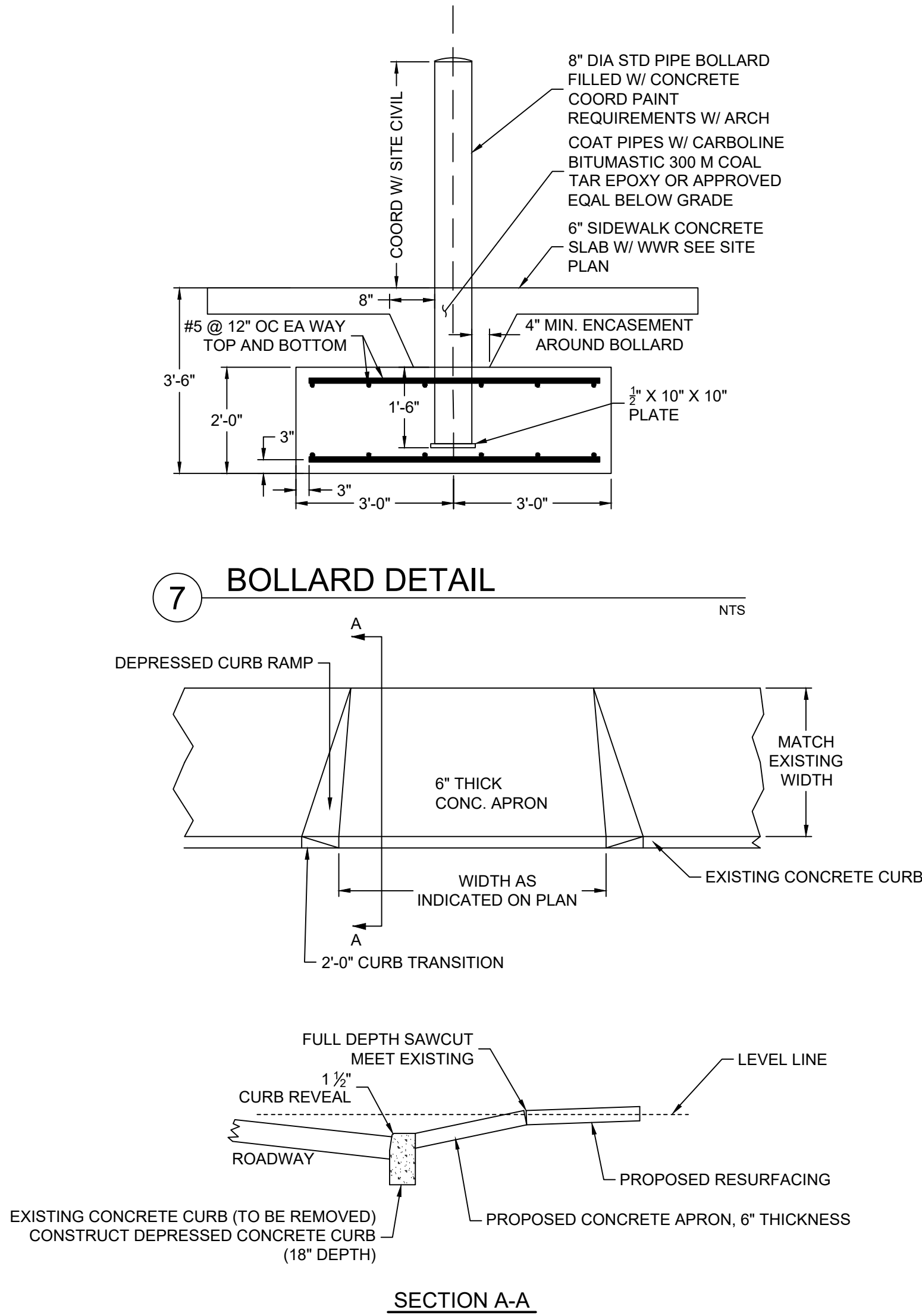
9 SIGNS AND SIGN POST DETAIL

NTS



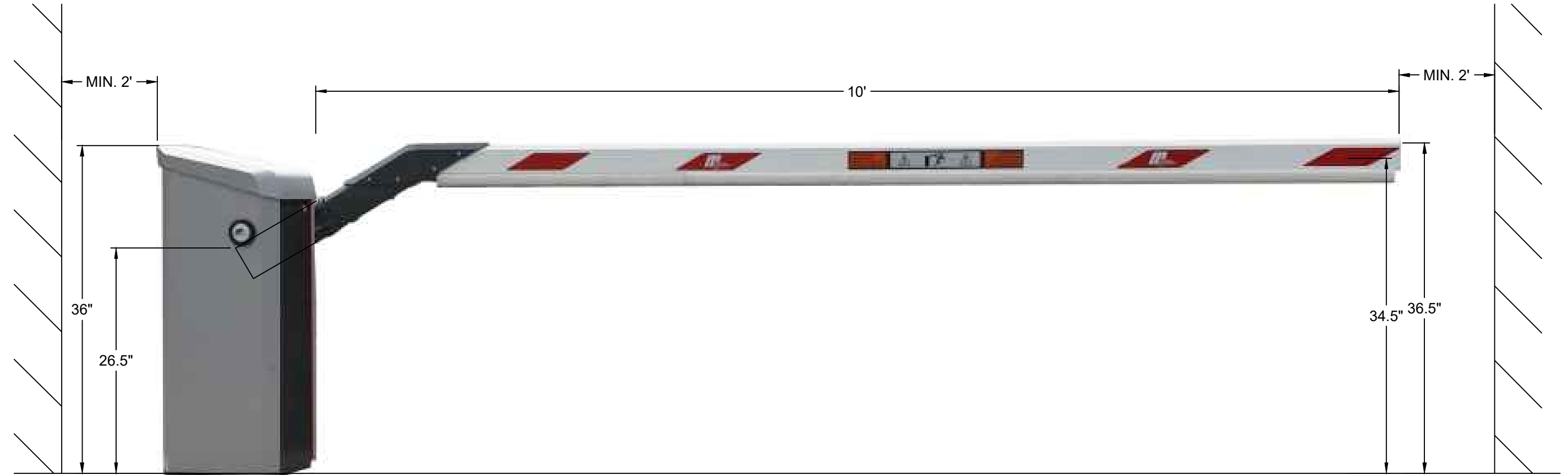
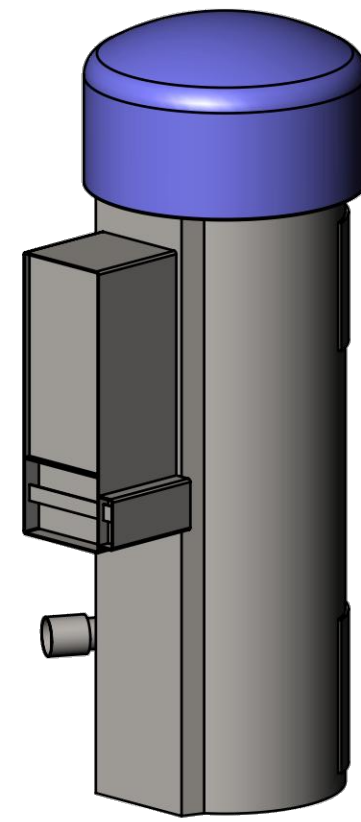
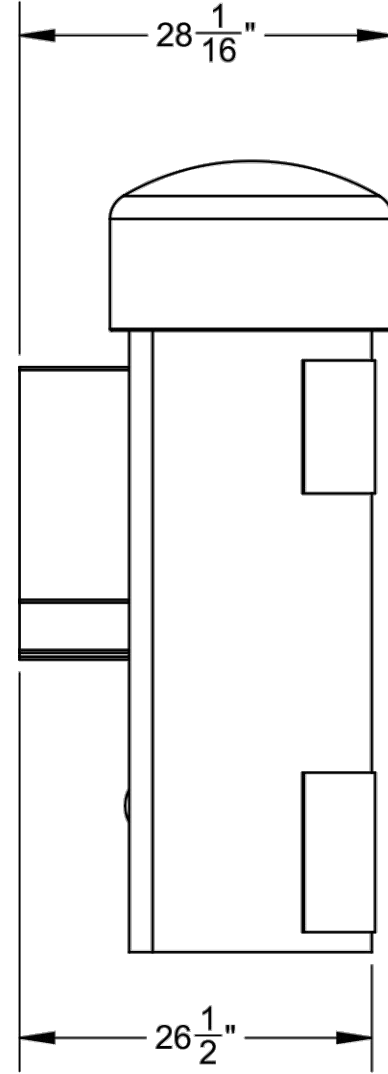
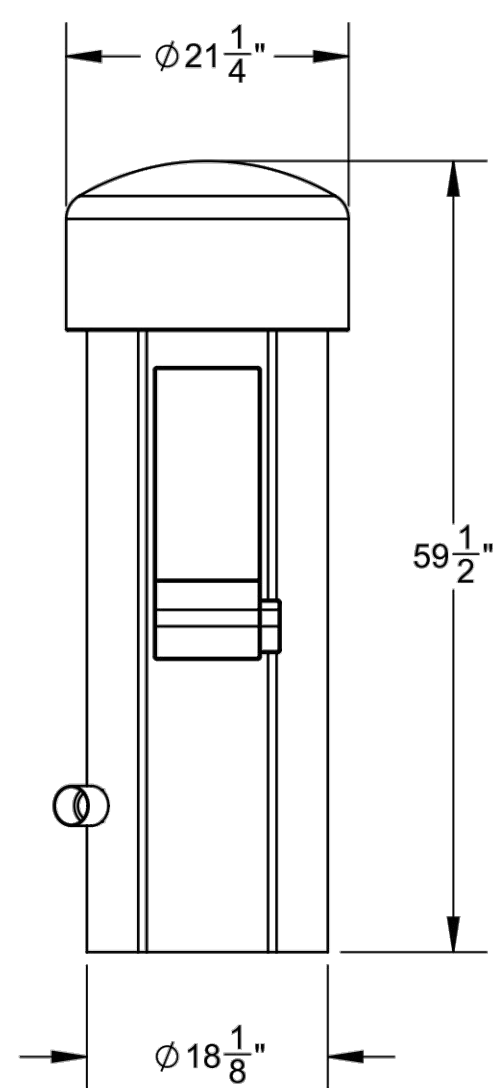
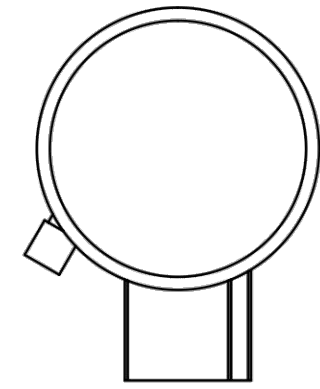
10 DRIVEWAY CONCRETE APRON DETAIL

NTS



- NOTES:
- ALL CONCRETE TO BE 4,500 PSI (MIN.)
  - ALL MATERIAL, REPAIR STRIPS, AND EXCAVATION FOR DRIVEWAY CONSTRUCTION TO BE INCLUDED IN THE BID PRICE FOR HMA DRIVEWAY, CONCRETE DRIVEWAY, OR CONCRETE VERTICAL CURB.
  - USE HOT MIX ASPHALT (HMA) SURFACE COURSE FOR BITUMINOUS PAVEMENT OVERLAY.
  - WHERE SIDEWALK CROSSES DRIVEWAY PROVIDE A 2.00% MAXIMUM SIDEWALK CROSS SLOPE WITHIN DRIVEWAY AREA.





1 VACUUM DETAIL (TOP PLAN VIEW) NTS

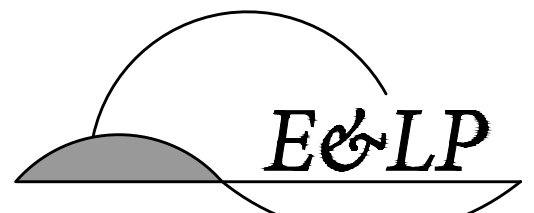
2 VACUUM DETAIL (SIDE VIEW) NTS

3 ISOMETRIC VIEW NTS

4 MAGNETIC PRO GATE DETAIL NTS

NOTE:  
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PH. 908-238-0544 FAX. 908-238-9572  
A PROFESSIONAL ASSOCIATION  
CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2022

NO.	REVISION	BY	DATE

02/24/2021 DATE  
JOHN E. HANSEN  
PROFESSIONAL ENGINEER  
N.J. P.E. NO. 24GE04194500

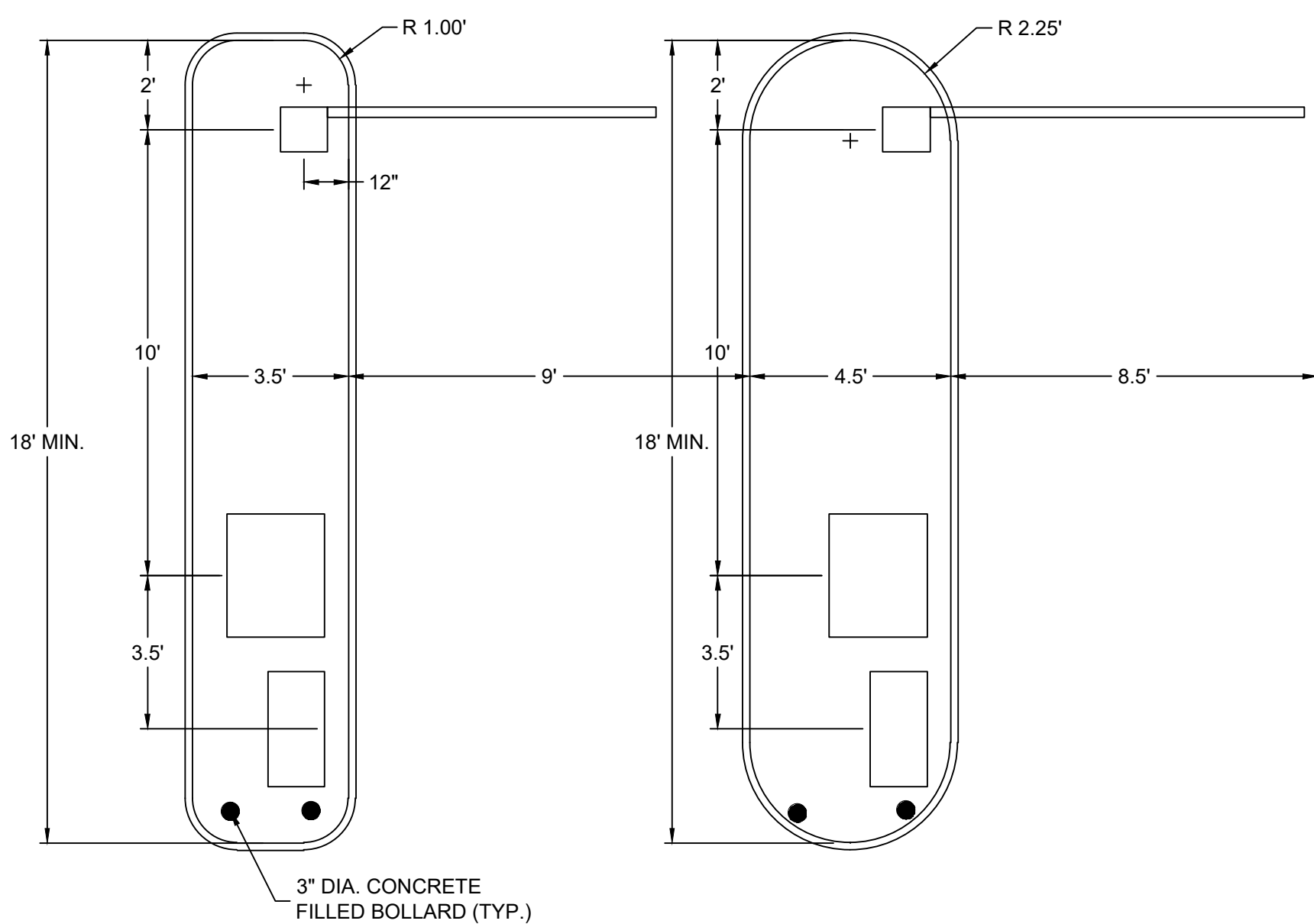
PROJECT:  
300 MOUNTAIN AVENUE  
BLOCK 129 LOT 16.01  
TOWN OF HACKETTSTOWN

WARREN COUNTY NEW JERSEY

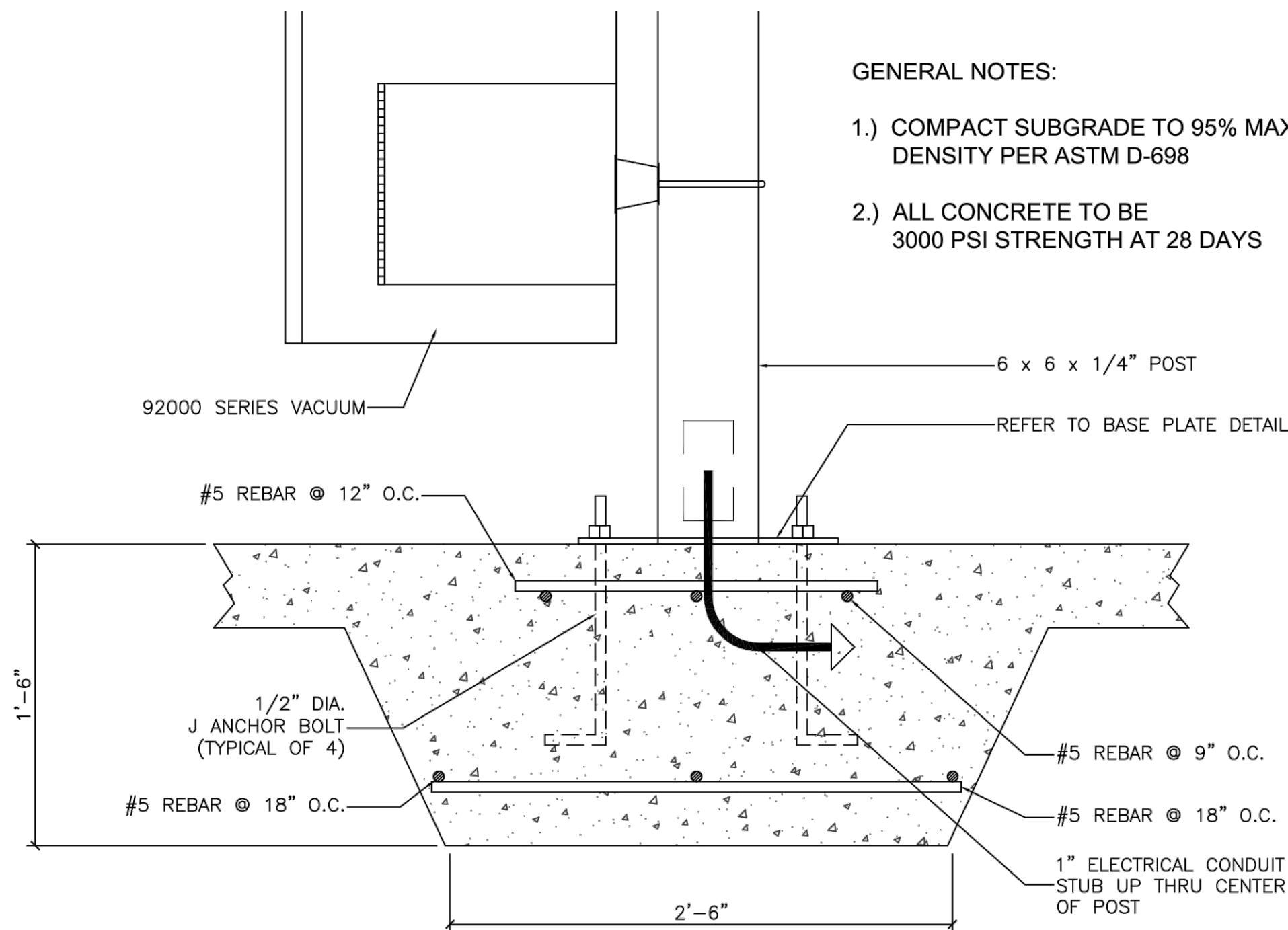
TITLE:

CONSTRUCTION DETAILS

JOB NO.:	0120309	DRAWING NO.:	4
SCALE:	N.T.S.		
DESIGNED:	AA		
CHECKED:	ADR		
FILENAME:	DETAILS.DWG		
DATE:	02/24/2021		4

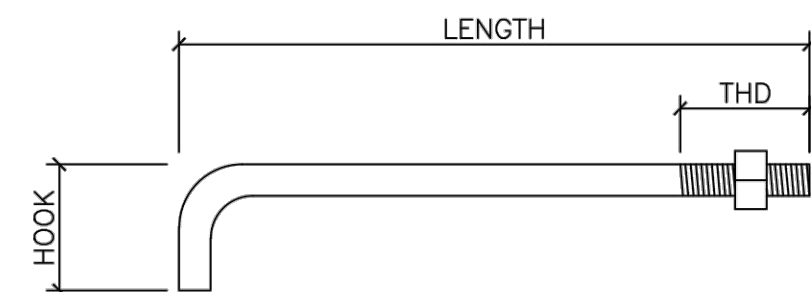


5 PAY STATION/GATE ISLAND DETAIL NTS



6 CONCRETE FOUNDATION DETAIL NTS

- GENERAL NOTES:
- 1.) COMPACT SUBGRADE TO 95% MAX. DENSITY PER ASTM D-698
  - 2.) ALL CONCRETE TO BE 3000 PSI STRENGTH AT 28 DAYS



ANCHOR BOLT DETAILS			
DIA.	LENGTH	THD.	HOOK
1/2"	1'-3"	3"	3"

STRUCTURAL LOAD TABLE	
LIVE LOAD TO FRAMES	12 PSF
WIND LOAD	120 MPH (3 SEC. GUST)
AUXILIARY LOAD	0 PSF
OTHER LOADS	0 PSF
TOTAL DEAD LOAD	2.0 PSF